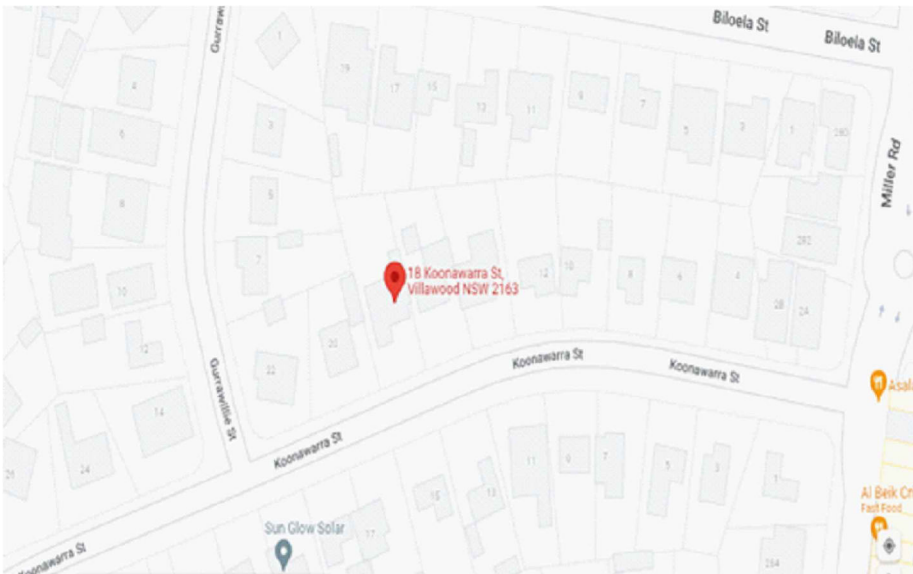




Proposal: Stage 1:Demolition of existing structures and construction of an attached two storey dual occupancy with Torrens title subdivision+swimming pool on lot 1  
Stage 2: Construction of a secondary dwelling on lot. 2 only

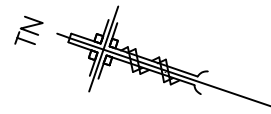
LOCATION MAP



SITE LOCATION: 18 KOONAWARRA ST.VILLAWOOD  
LOT 664 IN DP 36612

SHEET SCHEDULE (ARCHITECTURAL)							
SHEET	TITLE	SHEET	TITLE	SHEET	TITLE	SHEET	TITLE
000	COVER SHEET						
1	DEMOLISHING PLAN	9	SECTION A-A	17	BASIX COMMITMENTS PLAN U1	25	
2	SITE PLAN -1/100	10	FLOOR PLAN SECOND DWELLING +SWIMMING POOL DETAILS	18	BASIX COMMITMENTS PLAN U2	26	
3	SITE PLAN -1/200	11	ELEVATIONS SECOND DWELLING	19	MATERIALS & FINISHES	27	
4	GROUND FLOOR PLAN (DUPLEX)	12	SECTION B-B+ BASIX COMMITMENTS (SECOND DWELLING)	20		28	
5	FIRST FLOOR PLAN (DUPLEX)	13	SHADOWS - JUNE	21		29	
6	ROOF PLAN	14	SITE ANALYSIS	22		30	
7	FRONT + NORTH ELEVATIONS (DUPLEX)	15	SUBDIVISION PLAN	23		31	
8	SOUTH WEST + NORTH EAST ELEVATIONS (DUPLEX)	16	EROSION & SEDIMENT CONTROL PLAN	24		32	

<div><b>SIGHT BUILDING DESIGN</b> Architectural Design &amp; Planning Consultant Sam. Sallit (B. Arch.) Member of the royal Australian Institute of Architects (Tel - fax) 9637 1491 Mob: 0410 316 294 31 Farnell Street, Merrylands 2160 marsam2@outlook.com.au</div>	JOB DESCRIPTION	DRAWING TITLE	NOTES	DRAWN	SS	NORTH	ISSUE	AMENDMENT	BY	DATE
	PROPOSED ATTACHED DUAL OCCUPANCY (DUPLEX) UNIT (1) + UNIT (2) WITH TORRENS TITLE SUBDIVISION + BUILD NEW SECOND DWELLING (GRANNY FLAT ) FOR EACH LOT  AT: 18 KOONAWARRA ST. VILLAWOOD LOT 664 IN DP 36612	COVER PAGE	<div><div><div>- ALL WORK ADDITIONS ARE TO BE CONSIDERED PART OF THIS AMENDED PLAN</div><div>- ALL GROUND LINES ARE APPROXIMATE ONLY, AND ARE TO BE VERIFIED ON SITE.</div><div>- THE BUILDER IS RESPONSIBLE FOR THE CORRECTINGS OF ALL PLANS AND DIMENSIONS.</div><div>- THE BUILDER HAS TO CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.</div><div>- STORM WATER TO TO HYDRAULIC ENGINEER DETAILS</div><div>- DONT SCALE.</div></div><div><div>- SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786-1993. ALARMS ARE TO BE POSITIONED ON THE CELING AND SET BACK A MINIMUM DISTANCE OF 300mm FROM ANY WALL.</div><div>-WET AREAS ARE TO BE WATERPROOFED IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGSE</div></div></div>	DATE	27/04/2022					
				CHECKED	SS					
				SCALE	1/500					
				JOB NUMBER	871					
				NUMBER IN SET	000					
				ISSUE						



LOT  
646  
DP  
36612

LOT  
645  
DP  
36612

LOT  
668  
DP  
36612

LOT  
667  
DP  
36612

LOT  
663  
DP  
36612

LOT  
665  
DP  
36612

STREET  
KOONAWARRA

EXISTING GARAGE  
TO BE DEMOLISHED

EXISTING DRIVEWAY  
TO BE REMOVED

EXISTING AWNINGS  
TO BE REMOVED

EXISTING HOUSE  
TO BE DEMOLISHED

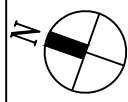
Demolition Notes:

1. Refer to Landscape drawing for removal of trees. Do not remove topsoil within drip line of trees to be retained. Use hand methods to locate, expose, and cleanly remove the roots within any area of specified excavation.
3. All Vegetated Areas to be retained where possible are to be fenced off, unless noted otherwise.
4. Contact '1100 Dial Before You Dig' prior to excavation to avoid damaging any existing underground services.
5. No manoeuvring of vehicles or stockpiling of material should occur outside the construction site.
6. All sediment control structures should be inspected and maintained by the site manager daily.
7. All waste skips to be clear from drains, gutters and foot paths.
8. Drainage is to be connected to storm water system as soon as possible.
9. Roads and footpaths outside of site to be kept clean and clear at all times.
10. Construction site stabilisation to commence immediately on demolition of building.

Legend: To be demolished  
Extent of existing ground surfaces to be removed  
Existing trees to be retained  
(Refer to Landscape Drawings)  
Existing trees to be removed  
(Refer to Landscape Drawings)  
Existing site level from Survey Plan

DEMOLISHING PLAN 1/200

  
**SIGHT BUILDING DESIGN**  
Sam. Sallit (B. Arch.)  
Member of the royal Australian Institute of architect  
(Tel - fax) 9637 1491 Mob: 0410 316 294  
31Fornell Street, Merrylands 2160 marsam2@outlook.com.au

JOB DESCRIPTION	DRAWING TITLE	NOTES	DRAWN	SS	NORTH	ISSUE	AMENDMENT	BY	DATE
PROPOSED ATTACHED DUAL OCCUPANCY (DUPLEX) UNIT (1) & UNIT (2) WITH TORRENTS TITLE SUBDIVISION + Swimming Pool for Unit (1) + SECOND DWELLING FOR UNIT (2) LOT	DEMOLISHING PLAN	- ALL WORK ADDITIONS ARE TO BE CONSIDERED PART OF THIS AMENDED PLAN - ALL GROUND LINES ARE APPROXIMATE ONLY, AND ARE TO BE VERIFIED ON SITE. - THE BUILDER IS RESPONSIBLE FOR THE CORRECTINGS OF ALL PLANS AND DIMENSIONS. - THE BUILDER HAS TO CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. - STORM WATER TO H. ENGINEER DETAILS - DONT SCALE.	DATE	11/03/2022					
			CHECKED	SS					
			SCALE	1/200					
			JOB NUMBER	873					
			NUMBER IN SET	1					
			ISSUE						



AREAS CALCULATIONS:

SITE AREA: 803 m2

UNIT (1) SITE AREA 353 m2

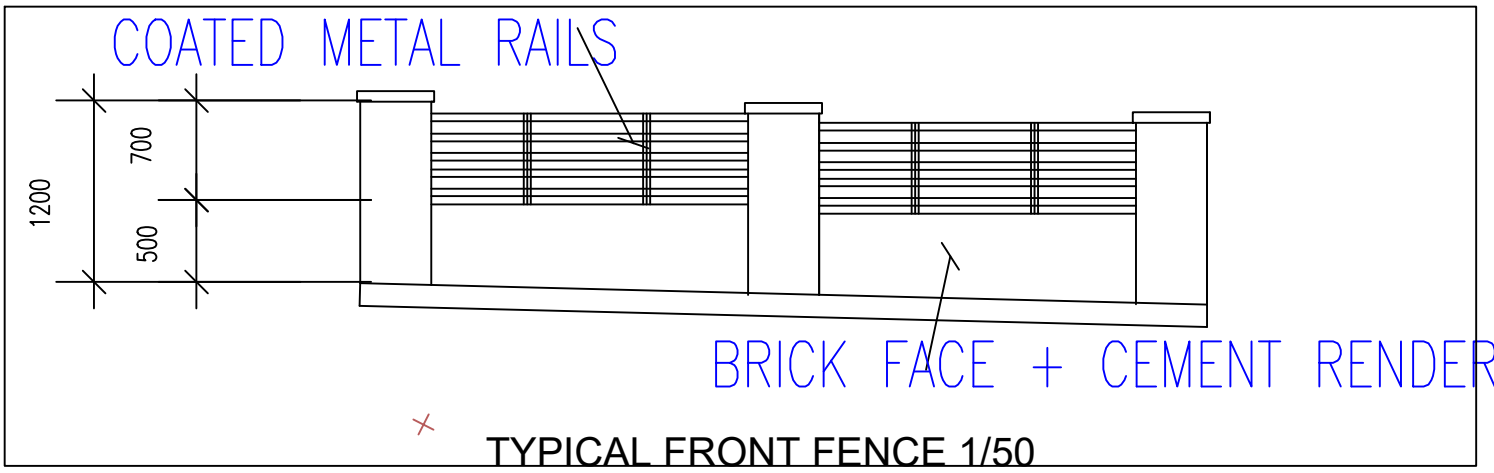
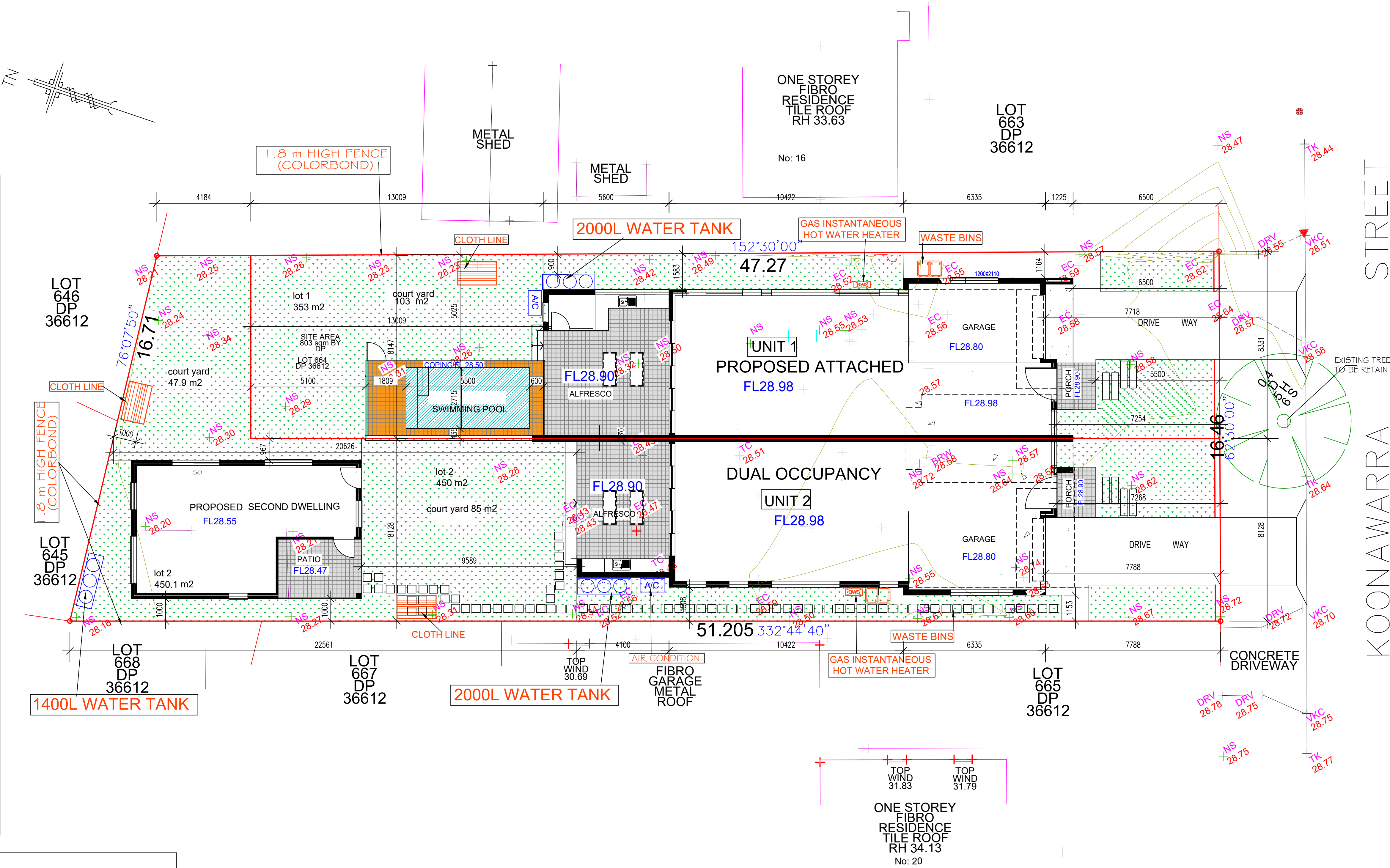
GROUND FLOOR:  
( LIVING AREA EXCLUDE WALL THICKNESS) 81.6 m2  
GARAGE: EXCLUDE WALL THICKNESS ) 23 m2  
ALFRESCO: 34.8 m2  
PORCH : 4.17 m2  
SWIMMING POOL: CAPACITY 18 KL  
COURT YARD (1) : OPEN SPACE 103 m2

FIRST FLOOR:  
( LIVING AREA EXCLUDE WALL THICKNESS + VOIDS) = 75.78 m2  
FRONT BALCONY : 17.4 m2  
TOTAL LIVING AREA (G+ F) : 157.38 m2  
FLOOR SPACE RATIO : 44.58%  
FRONT AREA AT FRONT OF BUILDING: 54.2 m2  
LANDSCAPE AREA AT FRONT OF BUILDING: 25.1 m2 = 46.30%

UNIT (2) SITE AREA 450 m2

GROUND FLOOR:  
( LIVING AREA EXCLUDE WALL THICKNESS) 81.6 m2  
GARAGE: EXCLUDE WALL THICKNESS ) 23 m2  
ALFRESCO: 34.8 m2  
PORCH : 4.17 m2  
SECOND DWELLING (GRANNY FLAT) AREA: 45.12 m2  
TOTAL COURT YARD (2) : OPEN SPACE 132.9m2

FIRST FLOOR:  
( LIVING AREA EXCLUDE WALL THICKNESS + VOIDS) = 75.78 m2  
FRONT BALCONY : 17.4 m2  
TOTAL LIVING AREA (G+ F) : 157.38 m2  
TOTAL LIVING AREA (U2 + Second dwelling)=202.50m2  
FLOOR SPACE RATIO : 45%  
FRONT AREA AT FRONT OF BUILDING: 52.8m2  
LANDSCAPE AREA AT FRONT OF BUILDING: 25.1 m2 = 47.5%



SITE PLAN 1/ 100



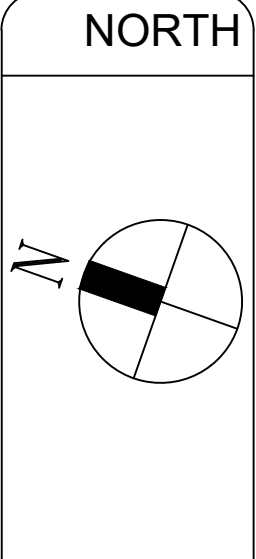
Sam. Sallit (B. Arch.)  
Member of the royal Australian Institute of architect  
(Tel - fax) 9637 1491 Mob: 0410 316 294  
31Fornell Street, Merrylands 2160 marsam2@outlook.com.au

JOB DESCRIPTION
Proposal: Stage 1: Demolition of existing structures and construction of an attached two storey dual occupancy with Torrens title subdivision+swimming pool on lot 1 Stage 2: Construction of a secondary dwelling on lot 2 only
AT: 18 KOONAWARRA ST. VILLAWOOD LOT 664 IN DP 36612

DRAWING TITLE
SITE PLAN
CLIENT NAME
Mr. ZAMEL NIAMAH 0422238478

NOTES
- ALL WORK ADDITIONS ARE TO BE CONSIDERED PART OF THIS AMENDED PLAN - ALL GROUND LINES ARE APPROXIMATE ONLY, AND ARE TO BE VERIFIED ON SITE. - THE BUILDER IS RESPONSIBLE FOR THE CORRECTINGS OF ALL PLANS AND DIMENSIONS. - THE BUILDER HAS TO CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. - STORM WATER TO H. ENGINEER DETAILS - DONT SCALE.
- SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786-1993. ALARMS ARE TO BE POSITIONED ON THE CEILING AND SET BACK A MINIMUM DISTANCE OF 300mm FROM ANY WALL. - WET AREAS ARE TO BE WATERPROOFED IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGSE

DRAWN	SS
DATE	11/03/2022
CHECKED	SS
SCALE	1/100
JOB NUMBER	873
NUMBER IN SET	2
ISSUE	



ISSUE	AMENDMENT	BY	DATE



## AREAS CALCULATIONS:

SITE AREA: 803 m<sup>2</sup>

### UNIT (1) SITE AREA 353 m<sup>2</sup>

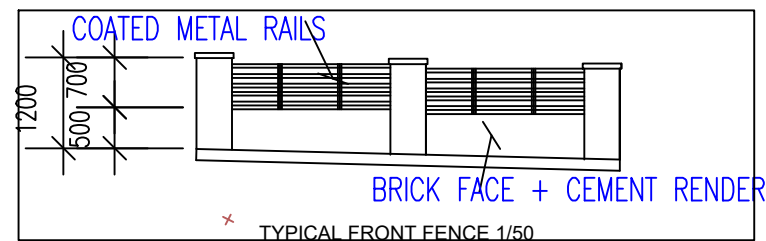
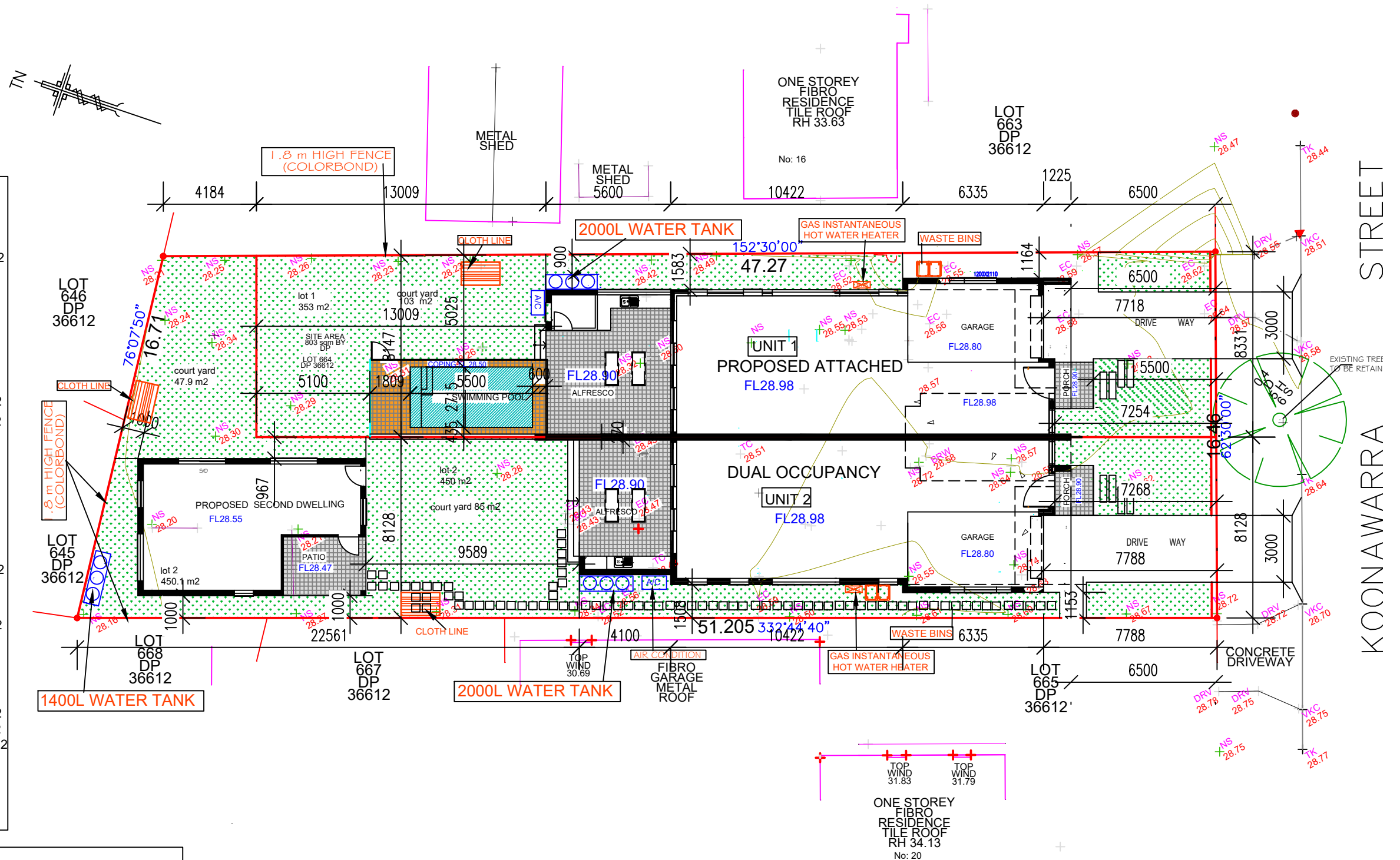
**GROUND FLOOR:**  
(LIVING AREA EXCLUDE WALL THICKNESS) 81.6 m<sup>2</sup>  
GARAGE: EXCLUDE WALL THICKNESS + VOID) 23 m<sup>2</sup>  
ALFRESCO: 34.8 m<sup>2</sup>  
PORCH: 4.17 m<sup>2</sup>  
SWIMMING POOL: CAPACITY 18 KL  
COURT YARD (1): OPEN SPACE 103 m<sup>2</sup>

**FIRST FLOOR:**  
(LIVING AREA EXCLUDE WALL THICKNESS + VOIDS) = 75.78 m<sup>2</sup>  
FRONT BALCONY: 17.4 m<sup>2</sup>  
TOTAL LIVING AREA (G+ F): 157.38 m<sup>2</sup>  
FLOOR SPACE RATIO: 44.58%  
FRONT AREA AT FRONT OF BUILDING: 61.65 m<sup>2</sup>  
LANDSCAPE AREA AT FRONT OF BUILDING: 25.1 m<sup>2</sup> = 40.71%

### UNIT (2) SITE AREA 450 m<sup>2</sup>

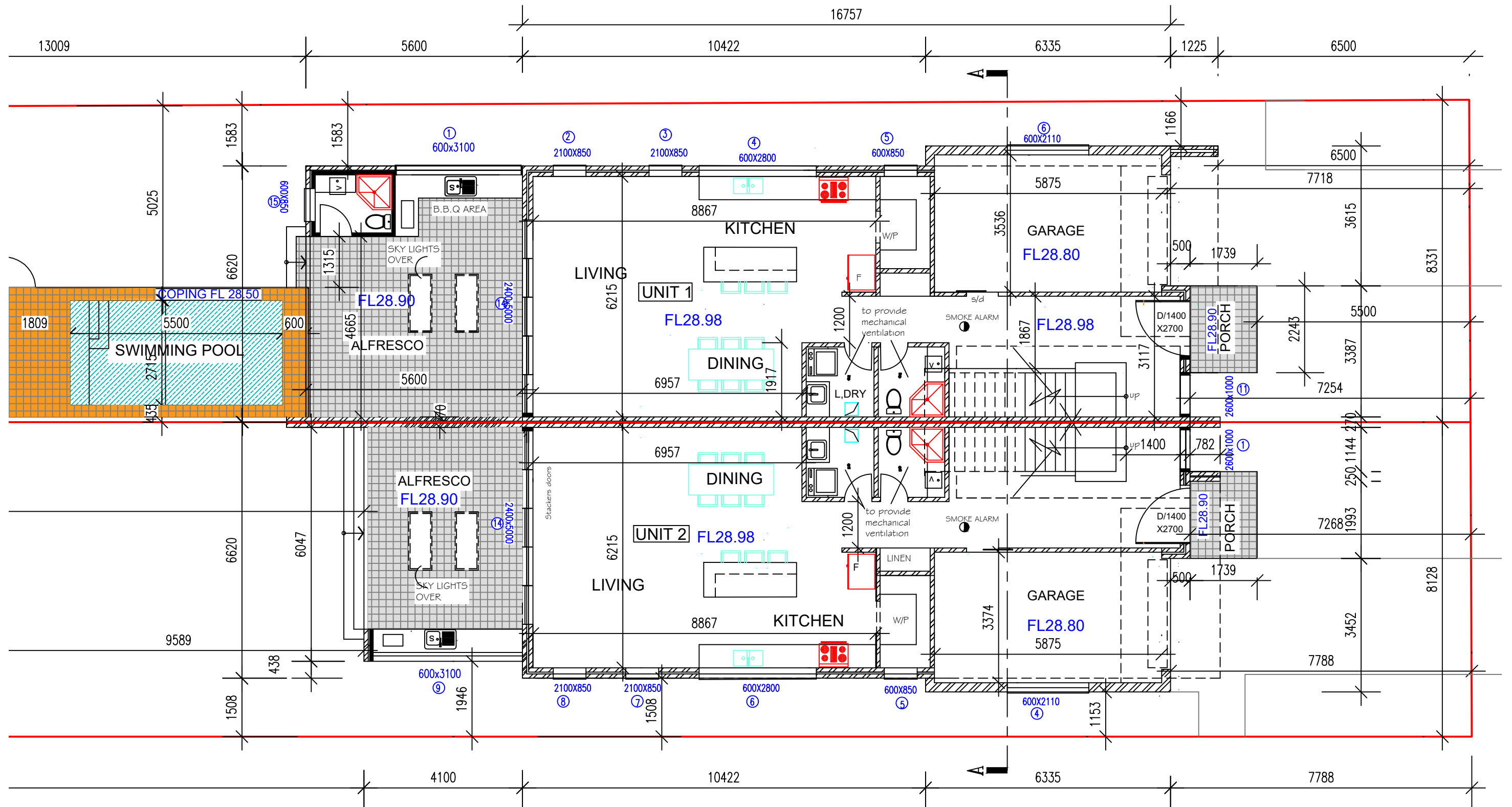
**GROUND FLOOR:**  
(LIVING AREA EXCLUDE WALL THICKNESS) 81.6 m<sup>2</sup>  
GARAGE: EXCLUDE WALL THICKNESS + VOID) 23 m<sup>2</sup>  
ALFRESCO: 34.8 m<sup>2</sup>  
PORCH: 4.17 m<sup>2</sup>  
SECOND DWELLING (GRANNY FLAT) AREA: 45.12 m<sup>2</sup>  
TOTAL COURT YARD (2): OPEN SPACE 132.9 m<sup>2</sup>

**FIRST FLOOR:**  
(LIVING AREA EXCLUDE WALL THICKNESS + VOIDS) = 75.78 m<sup>2</sup>  
FRONT BALCONY: 17.4 m<sup>2</sup>  
TOTAL LIVING AREA (G+ F): 157.38 m<sup>2</sup>  
TOTAL LIVING AREA (U2 + Second dwelling)=202.50m<sup>2</sup>  
FLOOR SPACE RATIO: 45%  
FRONT AREA AT FRONT OF BUILDING: 61.65 m<sup>2</sup>  
LANDSCAPE AREA AT FRONT OF BUILDING: 25.1 m<sup>2</sup> = 40.71%



## SITE PLAN 1/ 200

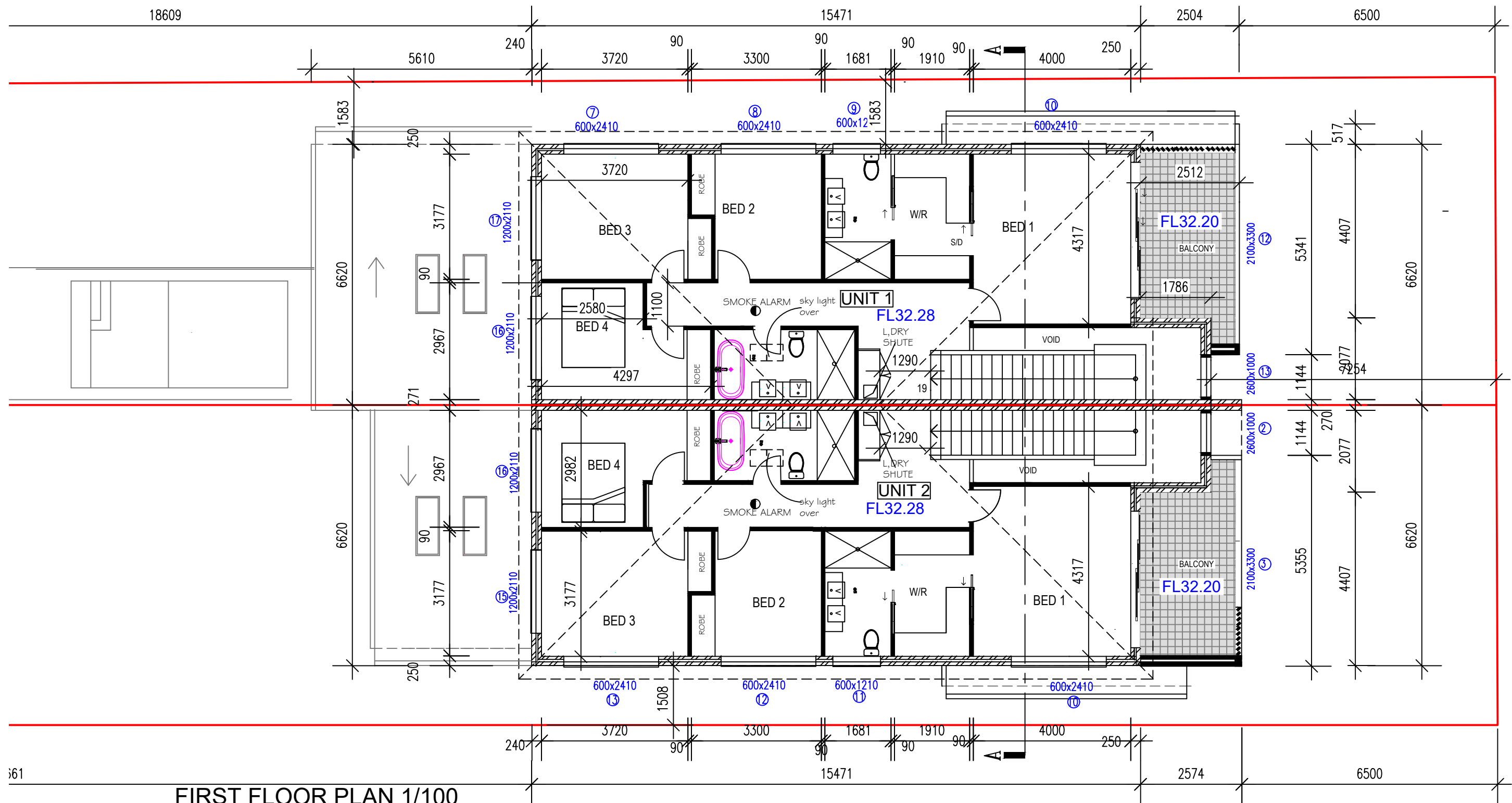
JOB DESCRIPTION	DRAWING TITLE	NOTES	DRAWN	SS	NORTH	ISSUE	AMENDMENT	BY	DATE
Proposal: Stage 1: Demolition of existing structures and construction of an attached two storey dual occupancy with Torrens title subdivision+swimming pool on lot 1 Stage 2: Construction of a secondary dwelling on lot 2 only	<b>SITE PLAN</b>	<ul style="list-style-type: none"> <li>- ALL WORK ADDITIONS ARE TO BE CONSIDERED PART OF THIS AMENDED PLAN</li> <li>- ALL GROUND LINES ARE APPROXIMATE ONLY, AND ARE TO BE VERIFIED ON SITE.</li> <li>- THE BUILDER IS RESPONSIBLE FOR THE CORRECTINGS OF ALL PLANS AND DIMENSIONS.</li> <li>- THE BUILDER HAS TO CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.</li> <li>- STORM WATER TO H. ENGINEER DETAILS</li> <li>- DONT SCALE.</li> <li>- SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786-1993. ALARMS ARE TO BE POSITIONED ON THE CEILING AND SET BACK A MINIMUM DISTANCE OF 300mm FROM ANY WALL.</li> <li>- WET AREAS ARE TO BE WATERPROOFED IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGSE</li> </ul>	DATE	11/03/2022					
			CHECKED	SS					
			SCALE	1/200					
			JOB NUMBER	873					
			NUMBER IN SET	3					
			ISSUE						



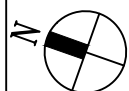
## GROUND FLOOR PLAN 1/100

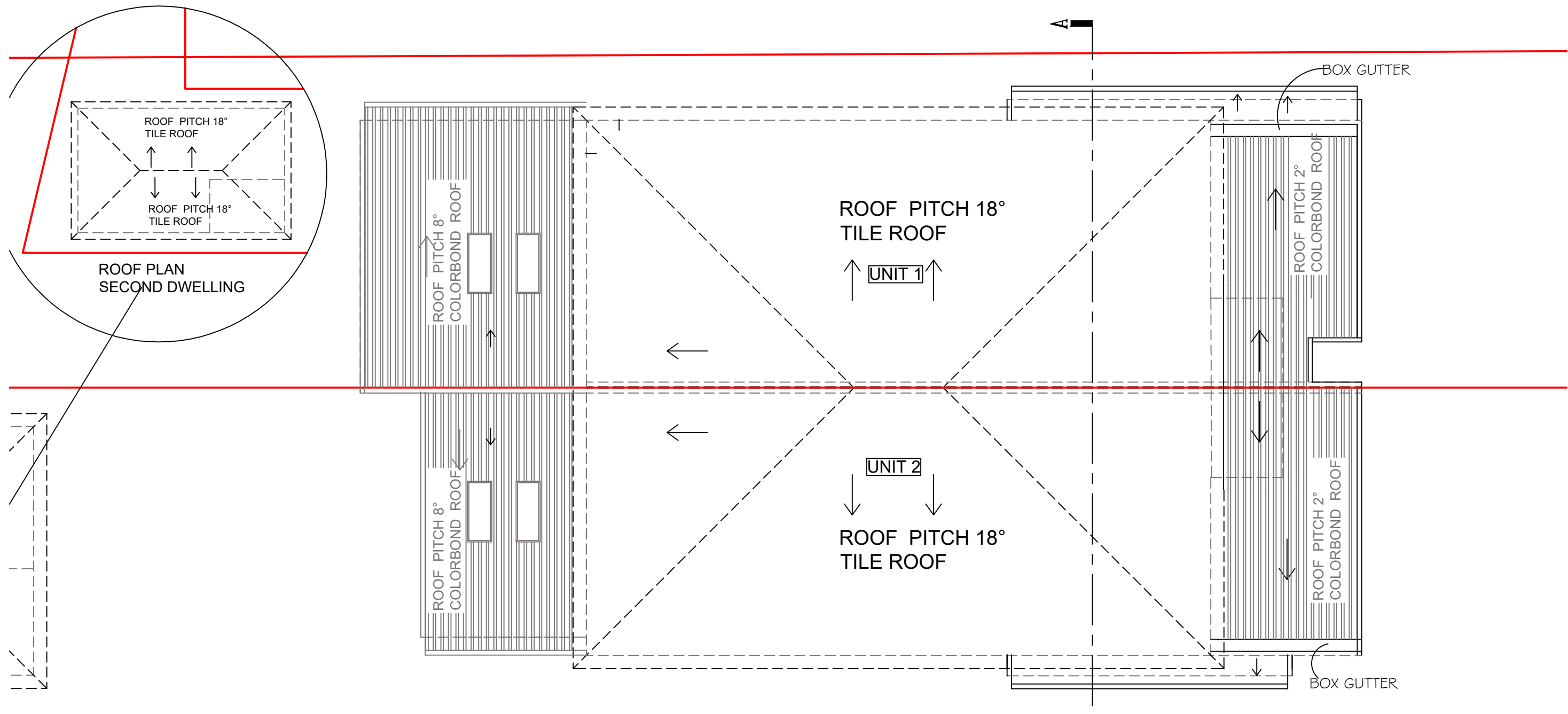
**SIGHT BUILDING DESIGN**  
 Sam. Sallit (B. Arch.)  
 Member of the royal Australian Institute of architect  
 (Tel - fax) 9637 1491 Mob: 0410 316 294  
 31Fornell Street, Merrylands 2160 marsam2@outlook.com.au

JOB DESCRIPTION	DRAWING TITLE	NOTES	DRAWN	SS	NORTH	ISSUE	AMENDMENT	BY	DATE
Proposal: Stage 1: Demolition of existing structures and construction of an attached two storey dual occupancy with Torrens title subdivision+swimming pool on lot 1 Stage 2: Construction of a secondary dwelling on lot. 2 only	GROUND FLOOR PLAN	- ALL WORK ADDITIONS ARE TO BE CONSIDERED PART OF THIS AMENDED PLAN - ALL GROUND LINES ARE APPROXIMATE ONLY, AND ARE TO BE VERIFIED ON SITE. - THE BUILDER IS RESPONSIBLE FOR THE CORRECTINGS OF ALL PLANS AND DIMENSIONS. - THE BUILDER HAS TO CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. - STORM WATER TO H. ENGINEER DETAILS - DONT SCALE.	DATE	11/03/2022					
			CHECKED	SS					
			SCALE	1/100					
			JOB NUMBER	873					
			NUMBER IN SET	4					
			ISSUE						



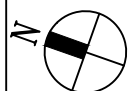
FIRST FLOOR PLAN 1/100

JOB DESCRIPTION	DRAWING TITLE	NOTES	DRAWN	SS	NORTH	ISSUE	AMENDMENT	BY	DATE
Proposal: Stage 1: Demolition of existing structures and construction of an attached two storey dual occupancy with Torrens title subdivision+swimming pool on lot 1 Stage 2: Construction of a secondary dwelling on lot 2 only	FIRST FLOOR PLAN	- ALL WORK ADDITIONS ARE TO BE CONSIDERED PART OF THIS AMENDED PLAN - ALL GROUND LINES ARE APPROXIMATE ONLY, AND ARE TO BE VERIFIED ON SITE. - THE BUILDER IS RESPONSIBLE FOR THE CORRECTINGS OF ALL PLANS AND DIMENSIONS. - THE BUILDER HAS TO CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. - STORM WATER TO H. ENGINEER DETAILS - DONT SCALE.	DATE	11/03/2022					
			CHECKED	SS					
			SCALE	1/100					
			JOB NUMBER	873					
			NUMBER IN SET	5					
			ISSUE						

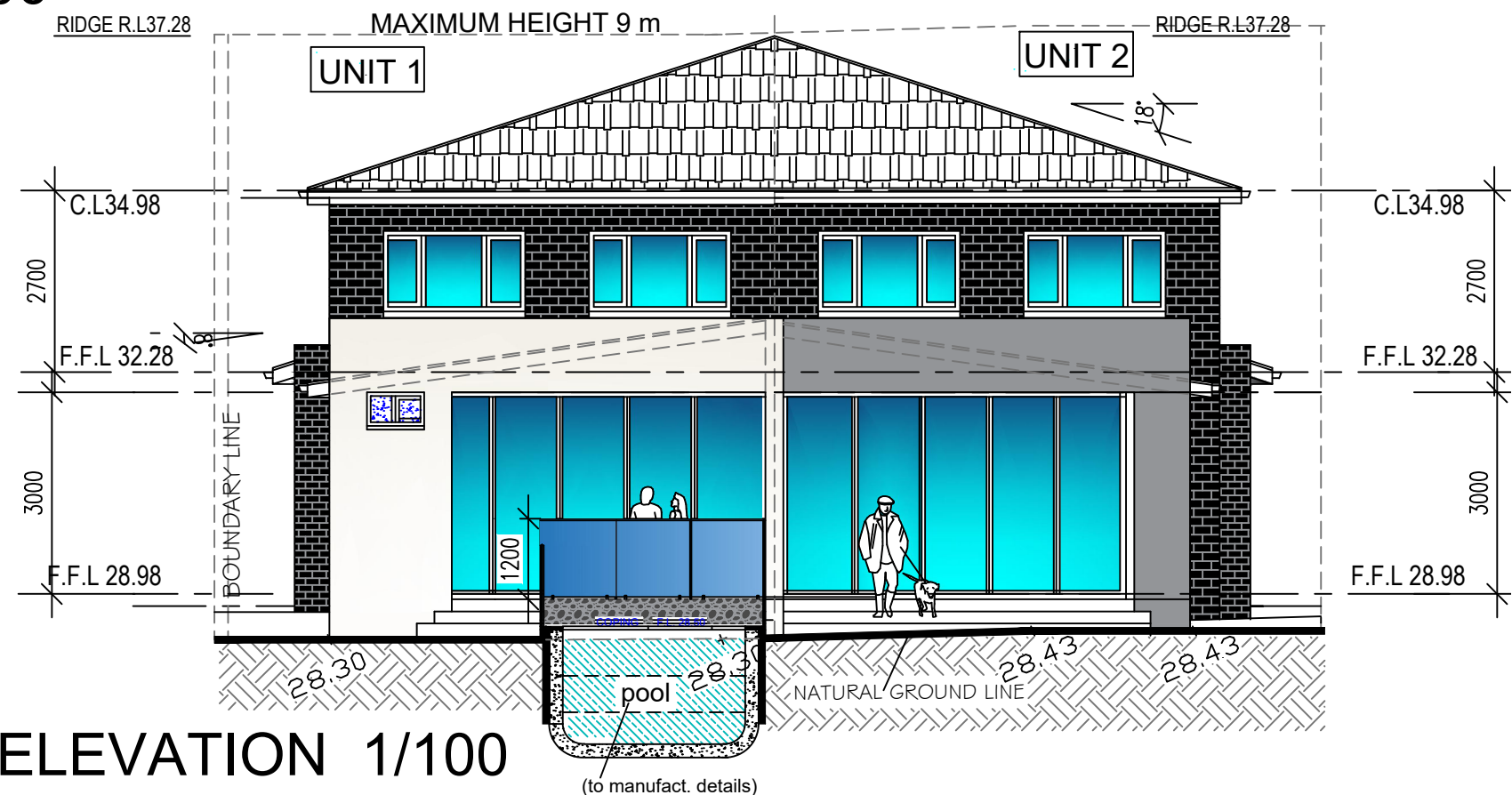
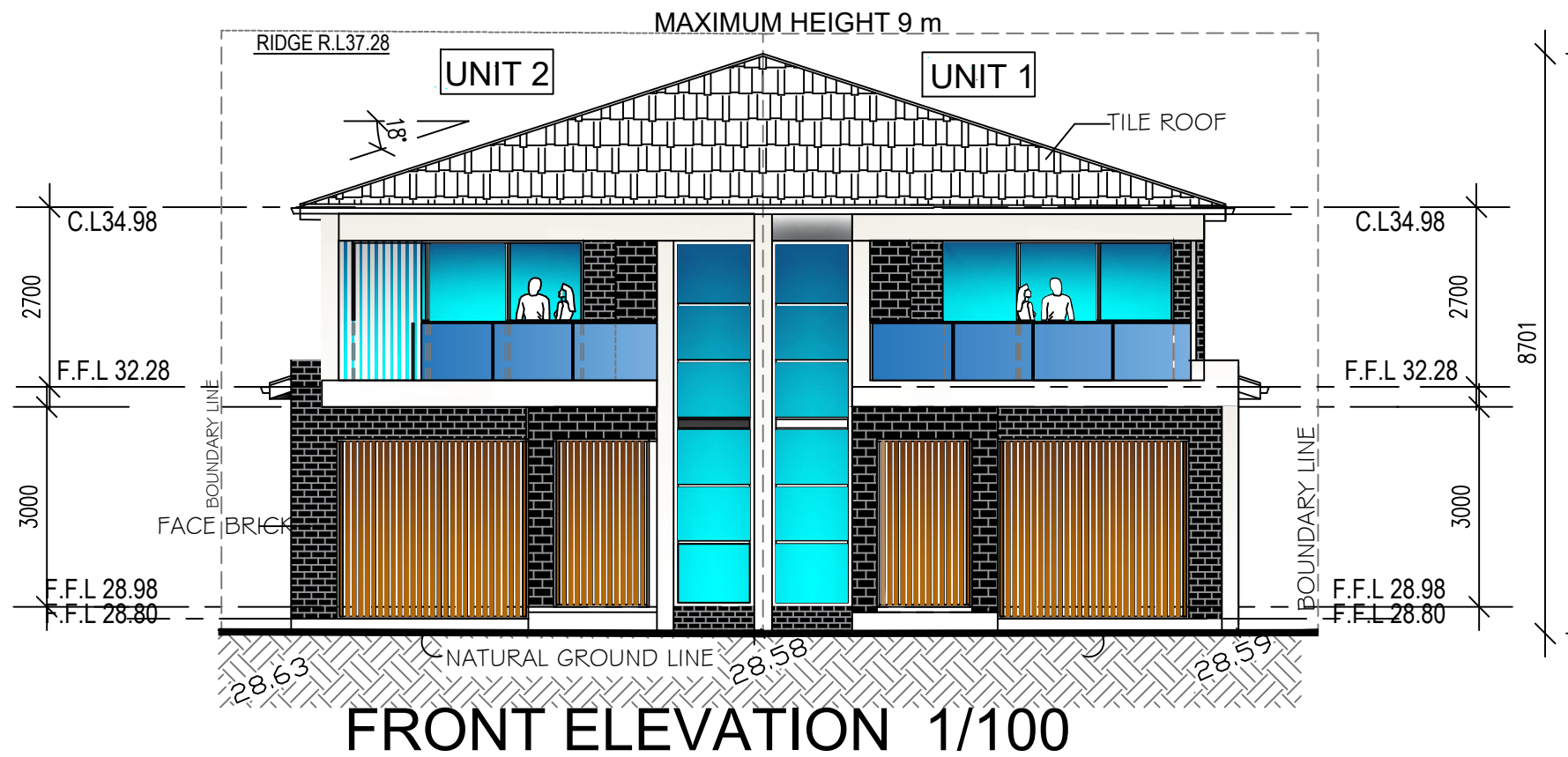


## ROOF PLAN 1/100

### CONVENTIONAL ROOF TO BE DONE ON SITE

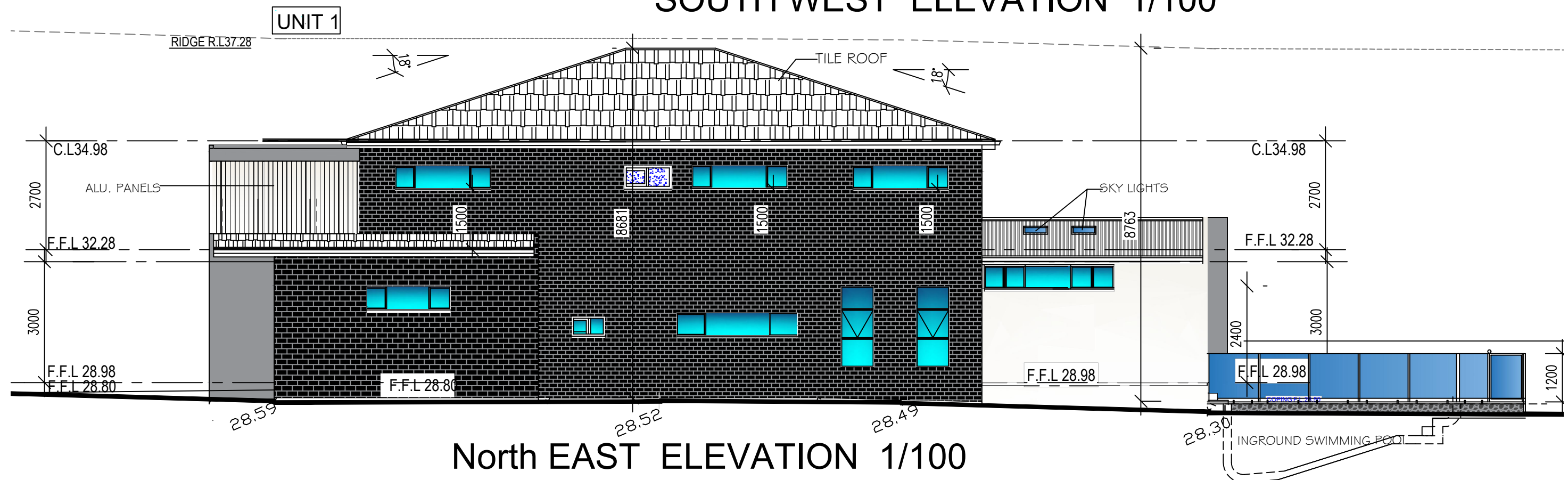
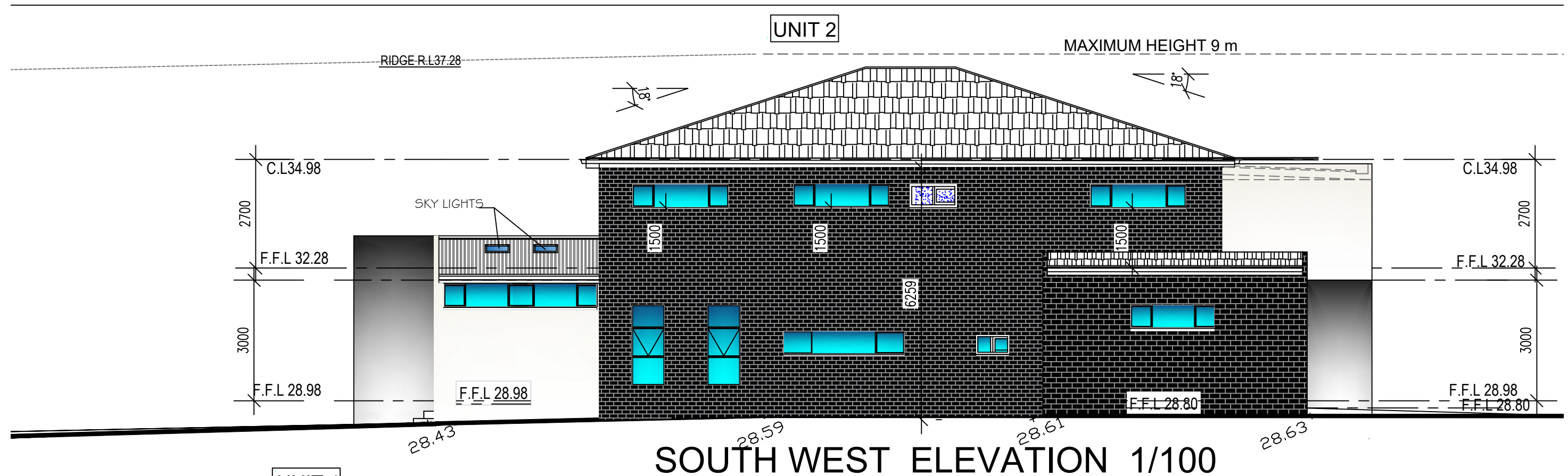
JOB DESCRIPTION	DRAWING TITLE	NOTES	DRAWN	SS	NORTH	ISSUE	AMENDMENT	BY	DATE
Proposal: Stage 1: Demolition of existing structures and construction of an attached two storey dual occupancy with Torrens title subdivision+swimming pool on lot 1 Stage 2: Construction of a secondary dwelling on lot. 2 only	ROOF PLAN	- ALL WORK ADDITIONS ARE TO BE CONSIDERED PART OF THIS AMENDED PLAN - ALL GROUND LINES ARE APPROXIMATE ONLY, AND ARE TO BE VERIFIED ON SITE. - THE BUILDER IS RESPONSIBLE FOR THE CORRECTINGS OF ALL PLANS AND DIMENSIONS. - THE BUILDER HAS TO CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. - STORM WATER TO H. ENGINEER DETAILS - DONT SCALE.	DATE	11/03/2022					
AT: 18 KOONAWARRA ST. VILLAWOOD LOT 664 IN DP 36612	CLIENT NAME	- SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786-1993. ALARMS ARE TO BE POSITIONED ON THE CEILING AND SET BACK A MINIMUM DISTANCE OF 300mm FROM ANY WALL. - WET AREAS ARE TO BE WATERPROOFED IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS	CHECKED	SS					
			SCALE	1/100					
			JOB NUMBER	873					
			NUMBER IN SET	6					
			ISSUE						





JOB DESCRIPTION	DRAWING TITLE	NOTES	DRAWN	SS	NORTH	ISSUE	AMENDMENT	BY	DATE
Proposal: Stage 1: Demolition of existing structures and construction of an attached two storey dual occupancy with Torrens title subdivision+swimming pool on lot 1 Stage 2: Construction of a secondary dwelling on lot. 2 only	FRONT + REAR ELEVATIONS	<ul style="list-style-type: none"> <li>- ALL WORK ADDITIONS ARE TO BE CONSIDERED PART OF THIS AMENDED PLAN</li> <li>- ALL GROUND LINES ARE APPROXIMATE ONLY, AND ARE TO BE VERIFIED ON SITE.</li> <li>- THE BUILDER IS RESPONSIBLE FOR THE CORRECTINGS OF ALL PLANS AND DIMENSIONS.</li> <li>- THE BUILDER HAS TO CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.</li> <li>- STORM WATER TO H. ENGINEER DETAILS</li> <li>- DONT SCALE.</li> <li>- SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786-1993. ALARMS ARE TO BE POSITIONED ON THE CEILING AND SET BACK A MINIMUM DISTANCE OF 300mm FROM ANY WALL.</li> <li>- WET AREAS ARE TO BE WATERPROOFED IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGSE</li> </ul>	DATE	11/03/2022					
			CHECKED	SS					
			SCALE	1/100					
			JOB NUMBER	873					
			NUMBER IN SET	7					
			ISSUE						




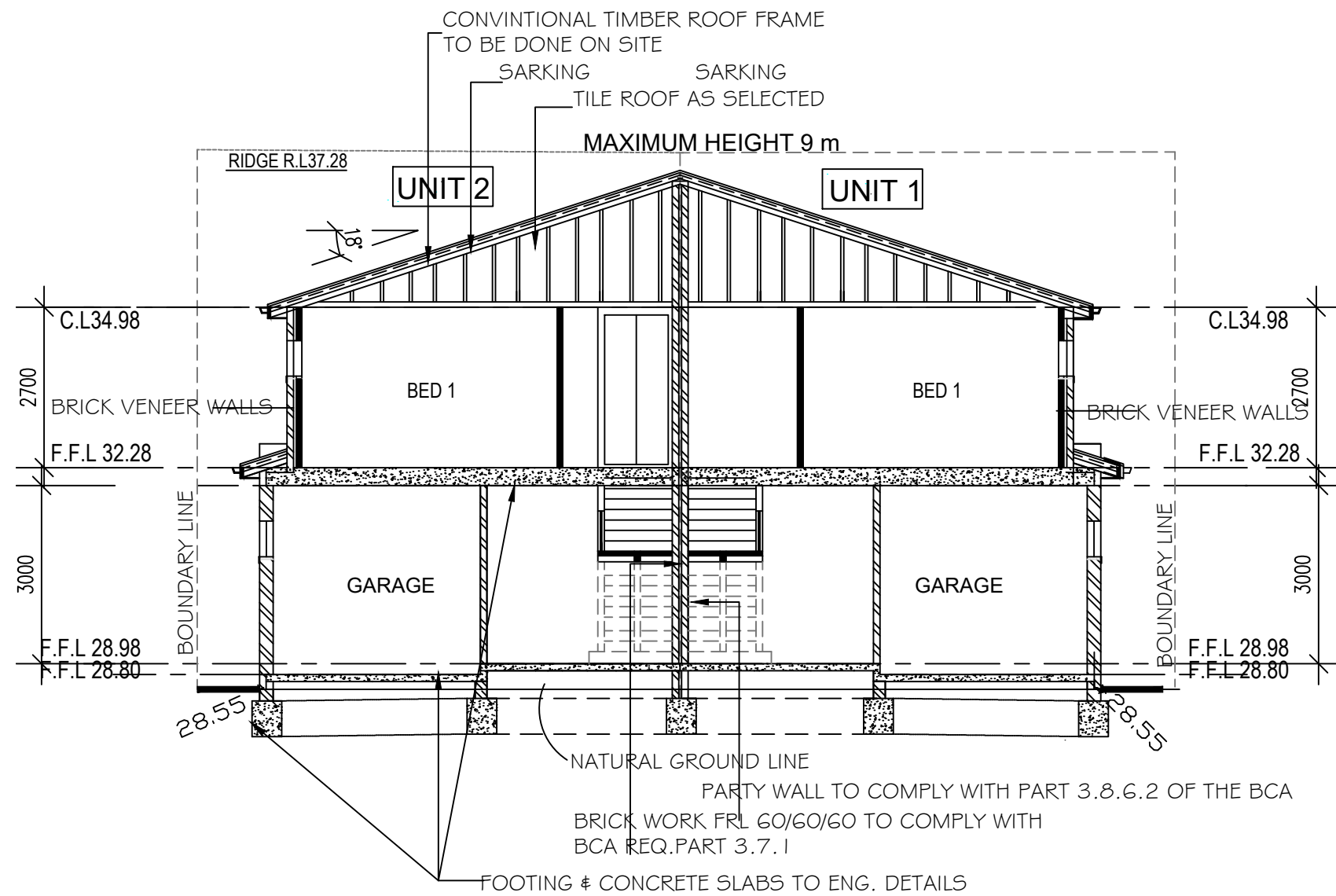


 **SIGHT BUILDING DESIGN**

 **Sam. Sallit** (B. Arch.)

Member of the royal Australian Institute of architect  
(Tel - fax) 9637 1491 Mob: 0410 316 294  
31Farnell Street, Merrylands 2160 marsam2@outlook.com.au

JOB DESCRIPTION	DRAWING TITLE	NOTES	DRAWN	SS	<div>N</div> 	ISSUE	AMENDMENT	BY	DATE	
Proposal: Stage 1:Demolition of existing structures and construction of an attached two storey dual occupancy with Torrens title subdivision+swimming pool on lot 1 Stage 2: Construction of a secondary dwelling on lot. 2 only	WEST + EAST ELEVATIONS	- ALL WORK ADDITIONS ARE TO BE CONSIDER PART OF THIS AMENDED PLAN	DATE	11/03/2022						
		- ALL GROUND LINES ARE APPROXIMATE ONLY, AND ARE TO BE VERIFIED ON SITE.	- SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786-1993. ALARMS ARE TO BE POSITIONED ON THE CELING AND SET BACK A MINIMUM DISTANCE OF 300mm FROM ANY WALL.	CHECKED		SS				
		- THE BUILDER IS RESPONSIBLE FOR THE CORRECTINGS OF ALL PLANS AND DIMENSIONS.	SCALE	1/100						
	CLIENT NAME	- THE BUILDER HAS TO CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.	JOB NUMBER	873						
	Mr. ZAMEL NIAMAH 0422238478	- STORM WATER TO H. ENGINEER DETAILS	NUMBER IN SET	<div>8</div>						
		- DONT SCALE.	ISSUE							



SECTION A - A 1/100

## •BCA notes housing provisions

The timber framing & wall bracing will comply with AS.1684

Smoke detectors will be installed in accordance with part 3.7.2 of the BCA housing provisions & AS.3786

The piers & slabs will be designed by a structural engineer in as per AS.2870

Termite protection will be provided in accordance with part 3.1.3 of the BCA housing provisions and AS.3660.1

The wet areas to be waterproofed in accordance with part 3.8.1 of the BCA housing provisions & AS.1740

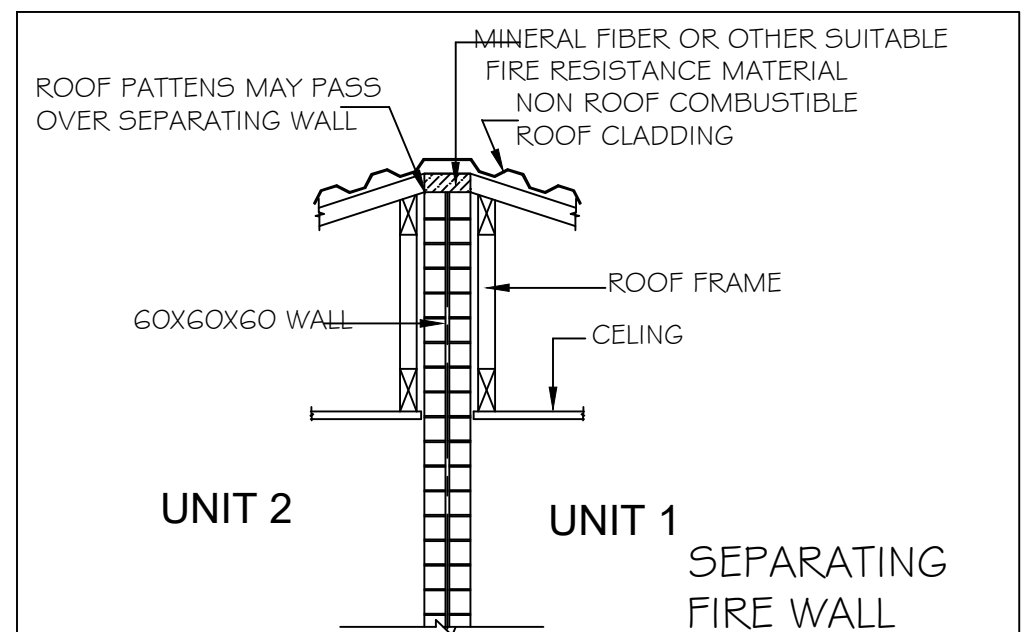
The sanitary compartment doors will be constructed in accordance with part 3.8.3 of the BCA housing provisions

The timber framing & wall bracing will comply with AS.1684  
The driveway gradient complies with AS.2890.1

The buildings will be provided with gutters & downpipes as per AS.3500 & connected either to the stormwater easement or street

Mechanical ventilation will be provided to the bathrooms & laundry in accordance with the BCA housing provisions

The risers, treads & balustrade will comply with part 3.9.2 of the BCA housing provisions





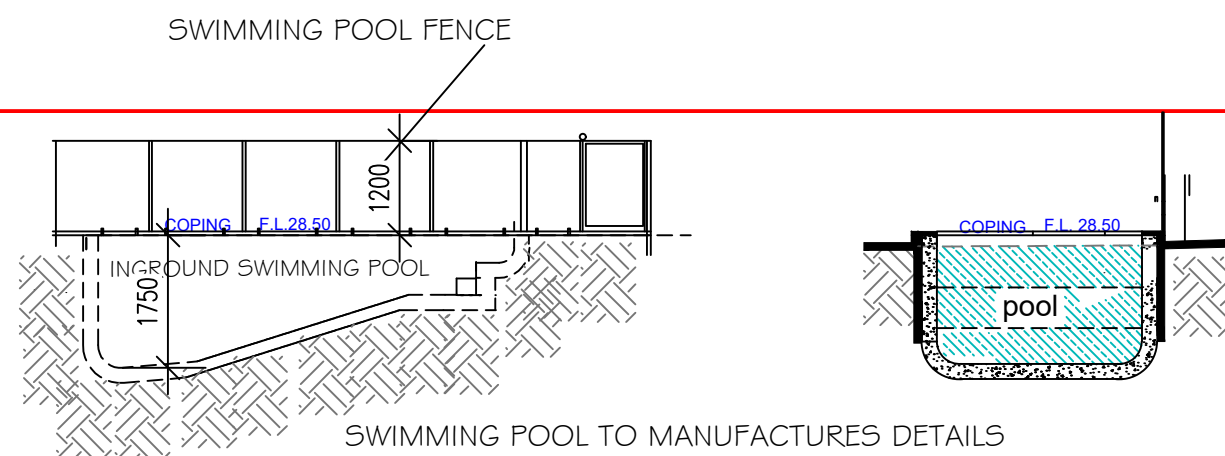
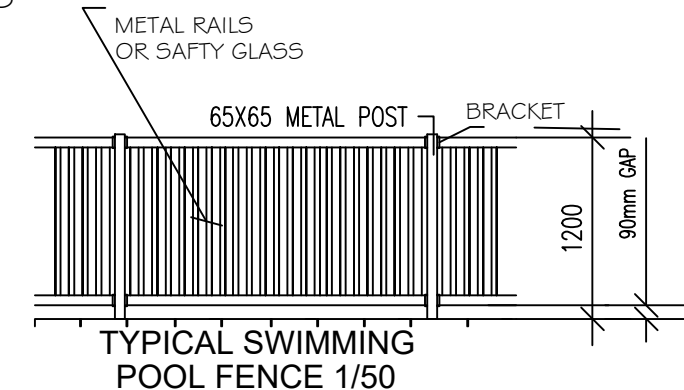
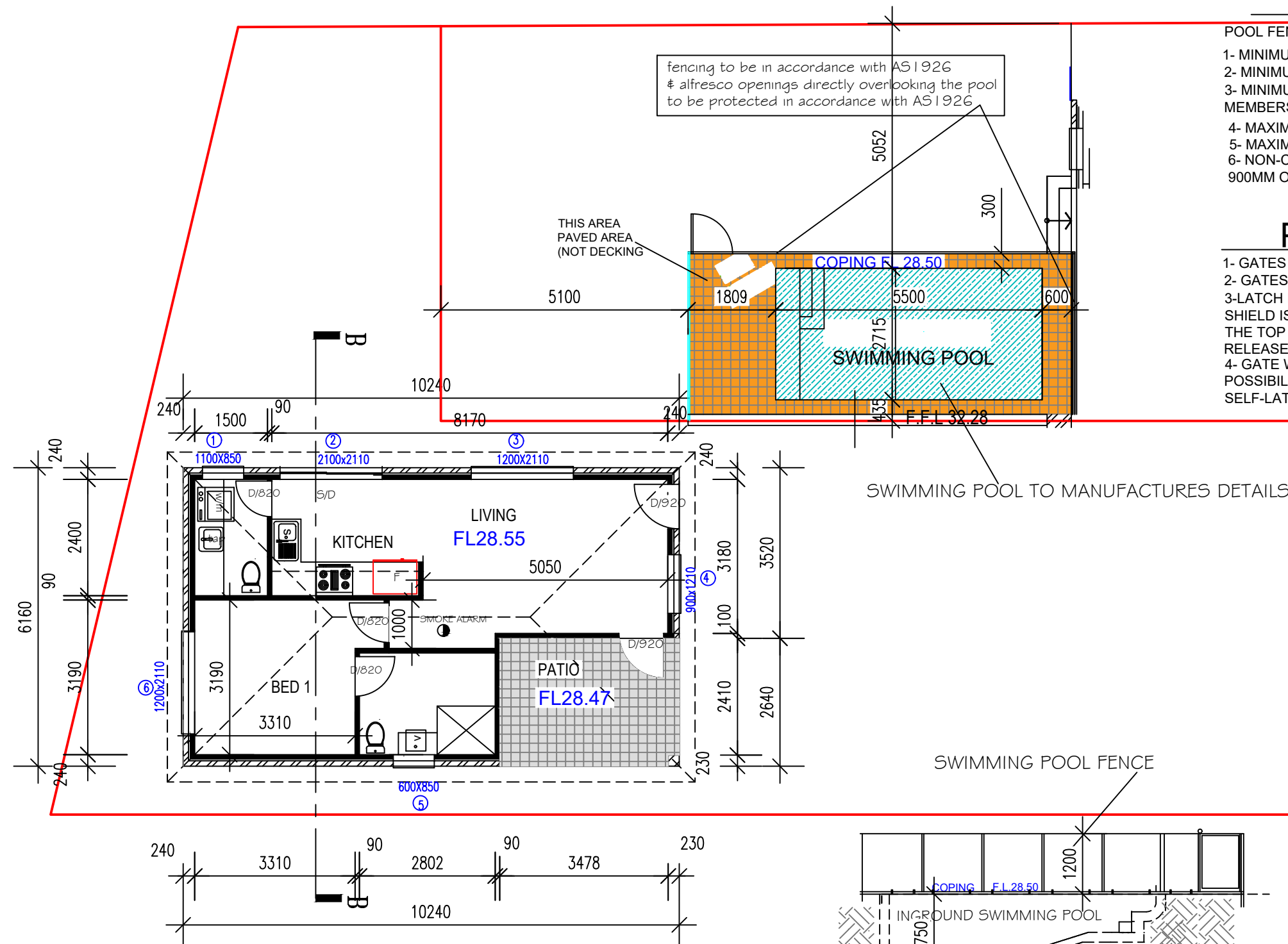
## POOL FENCE NOTE

POOL FENCING MUST COMPLY WITH AS 1926.1-2007 SOME OF THE REQUIRMENTS ARE:

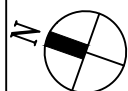
- 1- MINIMUM HEIGHT 1200mm FOR THE FENCING BETWEEN THE POOL AND THE HOUSE
- 2- MINIMUM HEIGHT OF 1800MM FOR BOUNDARY FENCING
- 3- MINIMUM 900MM SEPARATION BETWEEN THE UPPER AND LOWER HORIZONTAL MEMBERS TO MAINTAIN NON-CLIMABLE ZONE
- 4- MAXIMUM 100MM GAP UNDER THE FENCE
- 5- MAXIMUM 100MM GAP IN VERTICAL MEMBERS INCLUDING ANY FLEX IN MATERIAL
- 6- NON-CLIMABLE ZONE EXTENTS FROM THE BARRIER 300MM INTO THE POOL AREA AND 900MM OUTSIDE POOL AREA

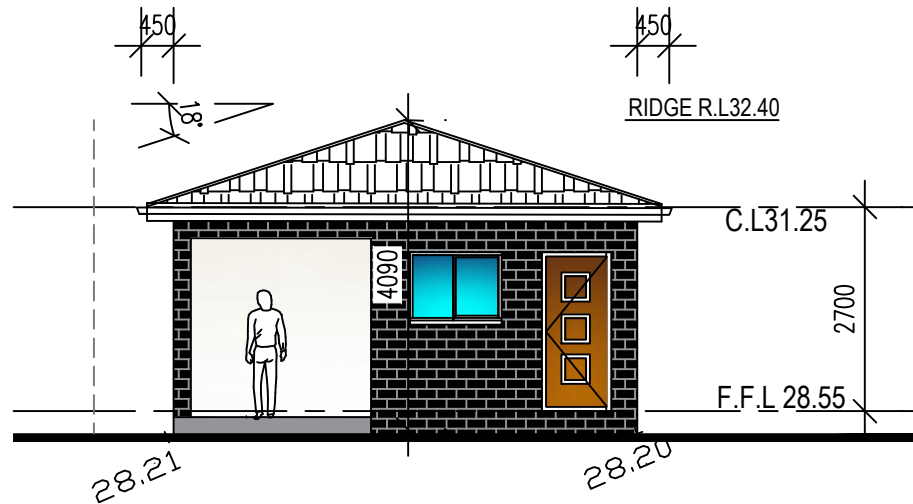
## POOL GATE NOTE

- 1- GATES MUST BE SELF-CLOSING AND SELF-LATCHING AND MUST BE CLOSED AT ALL TIME
- 2- GATES TO OPEN OUTWARDS FROM THE POOL AREA.
- 3- LATCH RELEASE MECHANISM TO B 1.5 METRES ABOVE THE GROUND EXCEPT WHERE A SHIELD IS USED. IF A SHIELD IS USED THE LATCH IS POSITIONED ON THE POOL SIDE NEAR THE TOP OF THE GATE. THE SHIELD MAKES IT NECESSARY TO REACH OVER THE GATE TO RELEASE THE LATCH MECHANISM.
- 4- GATE WIDTH IS TO BE KEPT A MINIMUM (NO MORE THAN 1-METRE) TO MINIMISE THE POSSIBILITY OF THE WEIGHT OF THE GATE CAUSING THE GATE TO DROP WITH THE SELF-LATCHING MECHANISM FAILING.

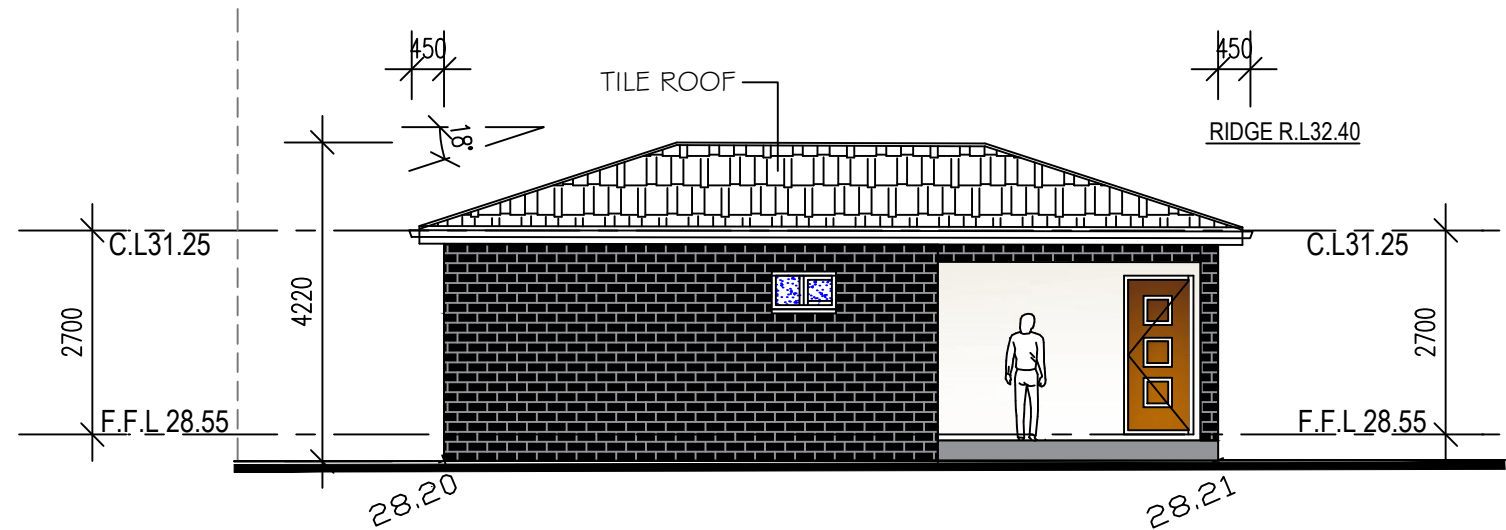


## SECOND DWELLING FLOOR PLAN (AT REAR UNIT -2-)

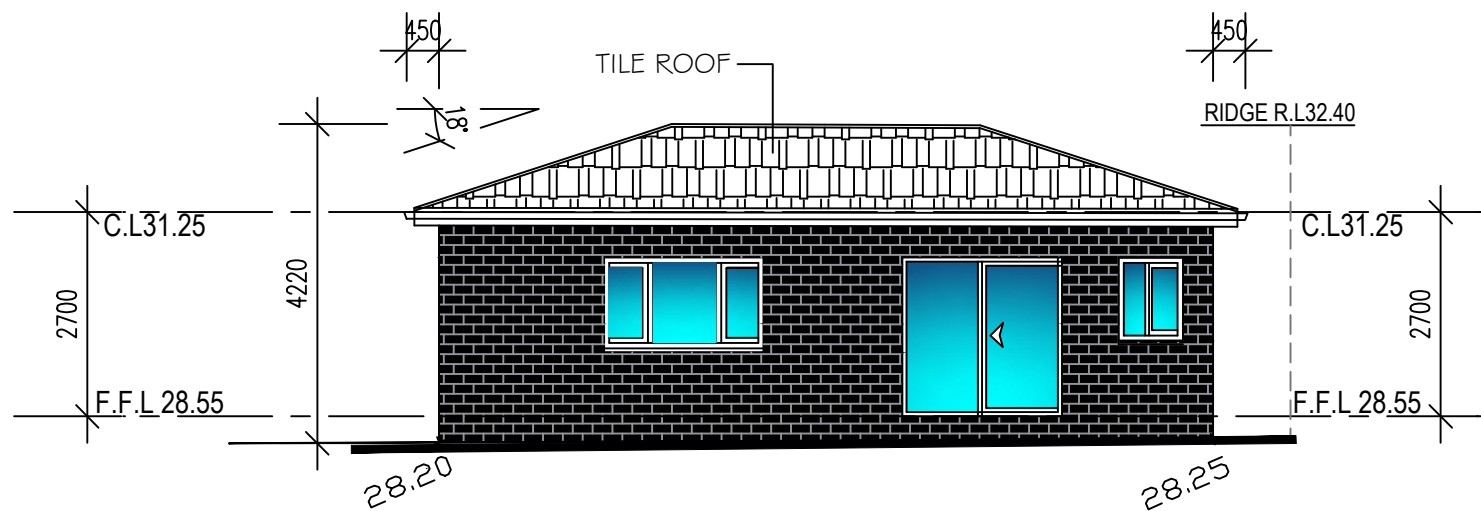
JOB DESCRIPTION	DRAWING TITLE	NOTES	DRAWN	SS	NORTH	ISSUE	AMENDMENT	BY	DATE
Proposal: Stage 1: Demolition of existing structures and construction of an attached two storey dual occupancy with Torrens title subdivision+swimming pool on lot 1 Stage 2: Construction of a secondary dwelling on lot 2 only	FLOOR PLAN (SECOND DWELLING) +SWIMMING POOL DETAILS	- ALL WORK ADDITIONS ARE TO BE CONSIDERED PART OF THIS AMENDED PLAN - ALL GROUND LINES ARE APPROXIMATE ONLY, AND ARE TO BE VERIFIED ON SITE. - THE BUILDER IS RESPONSIBLE FOR THE CORRECTINGS OF ALL PLANS AND DIMENSIONS. - THE BUILDER HAS TO CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. - STORM WATER TO H. ENGINEER DETAILS - DONT SCALE.	DATE	11/03/2022					
			CHECKED	SS					
			SCALE	1/100					
			JOB NUMBER	873					
			NUMBER IN SET	10					
			ISSUE						



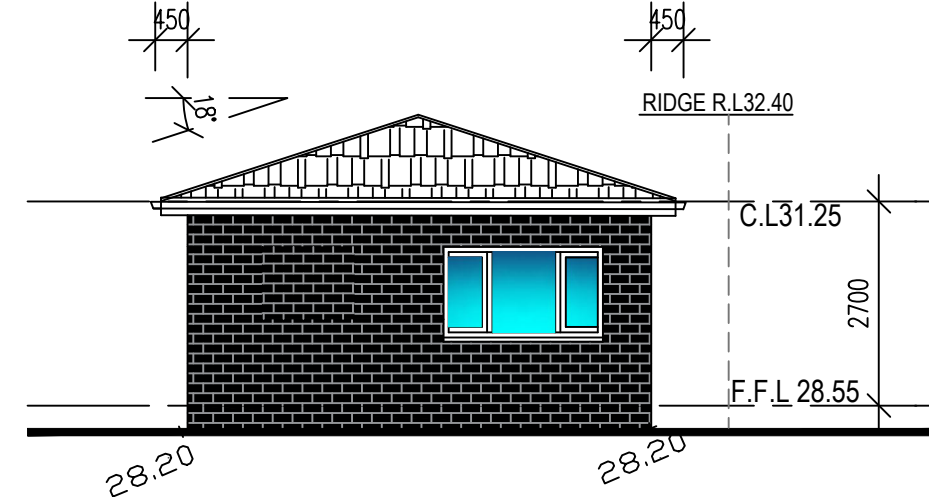
**SOUTH ELEVATION 1/100**  
(SECOND DWELLING)



**WEST ELEVATION 1/100**  
(SECOND DWELLING)



**EAST ELEVATION 1/100**  
(SECOND DWELLING)



**NORTH ELEVATION 1/100**  
(SECOND DWELLING)

JOB DESCRIPTION	DRAWING TITLE	NOTES	DRAWN	SS	NORTH	ISSUE	AMENDMENT	BY	DATE
Proposal: Stage 1: Demolition of existing structures and construction of an attached two storey dual occupancy with Torrens title subdivision+swimming pool on lot 1 Stage 2: Construction of a secondary dwelling on lot. 2 only	<b>ELEVATIONS (SECOND DWELLING)</b>	<ul style="list-style-type: none"> <li>- ALL WORK ADDITIONS ARE TO BE CONSIDERED PART OF THIS AMENDED PLAN</li> <li>- ALL GROUND LINES ARE APPROXIMATE ONLY, AND ARE TO BE VERIFIED ON SITE.</li> <li>- THE BUILDER IS RESPONSIBLE FOR THE CORRECTINGS OF ALL PLANS AND DIMENSIONS.</li> <li>- THE BUILDER HAS TO CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.</li> <li>- STORM WATER TO H. ENGINEER DETAILS</li> <li>- DONT SCALE.</li> </ul>	DATE	11/03/2022					
			CHECKED	SS					
			SCALE	1/100					
			JOB NUMBER	873					
			NUMBER IN SET	11					
			ISSUE						



basix commitmnets Certificate number: 1310080S

Water Commitments  
Landscape

The applicant must plant indigenous or low water use species of vegetation throughout 29 square metres of the site.

Fixtures

The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.

The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.

The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.

The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.

Alternative water

Rainwater tank

The applicant must install a rainwater tank of at least 1400 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rain runoff from at least 32 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).

The applicant must connect the rainwater tank to:

- all toilets in the development

- the cold water tap that supplies each clothes washer in the development

- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human

consumption in areas with potable water sup

Thermal Comfort Commitments Show on

General features

The dwelling must be a Class 1 dwelling according to the Building Code of Australia, and must not have more than 2 storeys.

The conditioned floor area of the dwelling must not exceed 300 square metres.

The dwelling must not contain open mezzanine area exceeding 25 square metres.

The dwelling must not contain third level habitable attic room.

Floor, walls and ceiling/roof

The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.

Construction Additional insulation required (R-Value) Other specifications

floor - concrete slab on ground nil

external wall - brick veneer 1.86 (or 2.40 including construction)

external wall - framed (weatherboard, fibre cement, metal clad) 2.20 (or 2.60 including construction)

ceiling and roof - flat ceiling / pitched roof ceiling: 3.5 (up), roof: foil/sarking unventilated; dark (solar absorptance >0.70)

Note • Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.

Note • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials

Thermal Comfort Commitments

Windows, glazed doors and skylights

The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.

The following requirements must also be satisfied in relation to each window and glazed door:

- For the following glass and frame types, the certifier check can be performed by visual inspection.

- Aluminium single clear

- Aluminium double (air) clear

- Timber/uPVC/fibreglass single clear

- Timber/uPVC/fibreglass double (air) clear

- For other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only.

- Vertical external louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn orclosed.

Window/glazed door no. Maximumheight (mm)Maximum width(mm)

Type Shading (Dimension within 10%) Overshadowing

North East facing

W01 1100x850 aluminium, single, clear

W02 2100 x2110 aluminium, single, clear

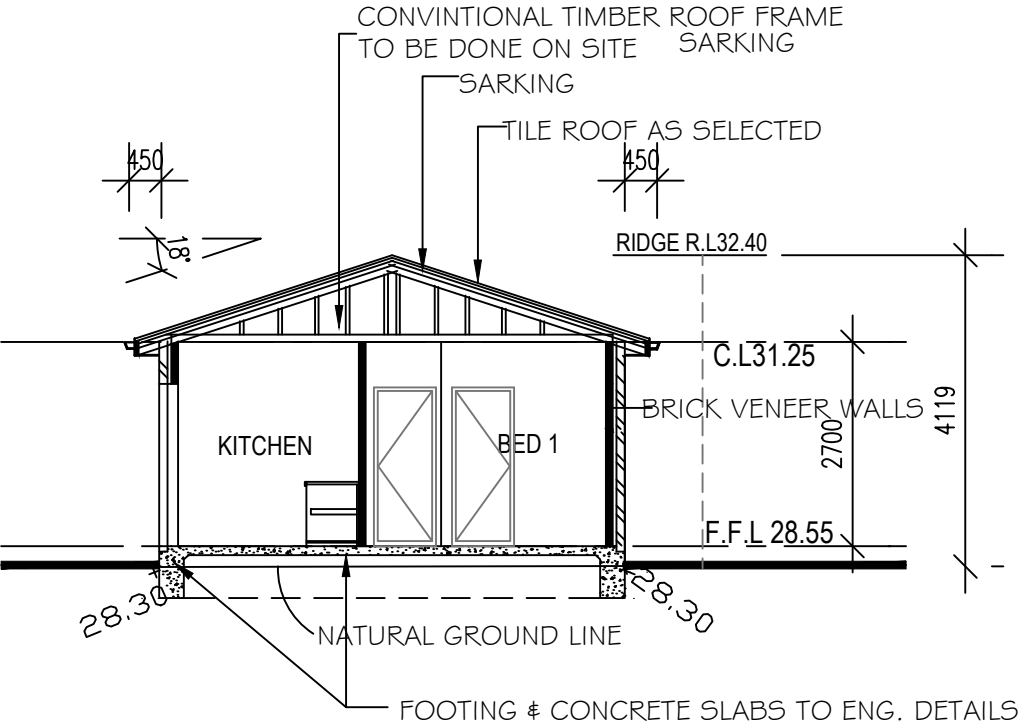
W03 1200x2110 aluminium, single, clear

**W04 900x1210 aluminium, single, clear**

**W05 600x850** U-value: 6.6, SHGC: 0.441 - 0.539(aluminium, single, tint)

North West facing

**W06 1200 x2110 aluminium, single, clear**



SECTION B - B 1/100 (SECOND DWELLING)

Energy Commitments

Hot water

The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.

Cooling system

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 3.5 Star

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 3.5 Star

The cooling system must provide for day/night zoning between living areas and bedrooms.

Heating system

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 3.5 Star

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 3.5 Star

The heating system must provide for day/night zoning between living areas and bedrooms.

Ventilation

The applicant must install the following exhaust systems in the development:

At least 1 Bathroom: individual fan, not ducted; Operation control: manual switch on/off

Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off

Laundry: natural ventilation only, or no laundry; Operation control: n/a

Artificial lighting

The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:

- at least 2 of the bedrooms / study;

Energy Commitments

- at least 1 of the living / dining rooms;• the kitchen;
- all bathrooms/toilets;• the laundry;• all hallways;

Natural lighting

The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.

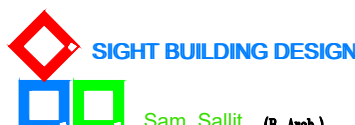
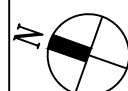
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.

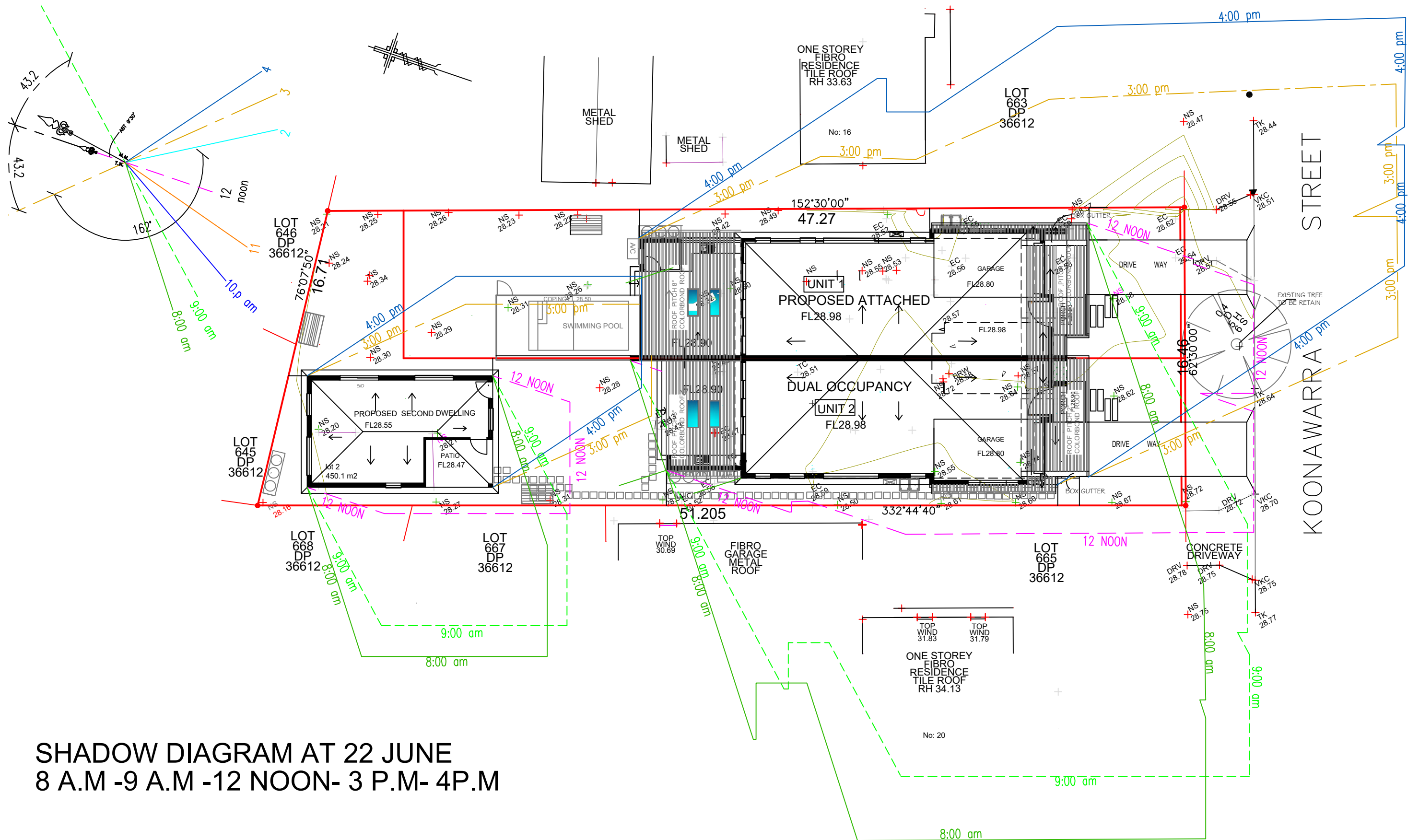
Other

The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.

The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.

The applicant must install a fixed outdoor clothes drying line as part of the developme

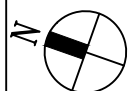
<div></div> <div>Sam. Sallit (B. Arch.)</div> <div>Member of the royal Australian Institute of architect</div> <div>(Tel - fax) 9637 1491 Mob: 0410 316 294</div> <div>31Farnell Street,Merrylands 2160 marsam2@outlook.com.au</div>	JOB DESCRIPTION	DRAWING TITLE	NOTES		DRAWN		SS	<div>NORTH</div> <div></div>	ISSUE	AMENDMENT	BY	DATE	
	Proposal: Stage 1:Demolition of existing structures and construction of an attached two storey dual occupancy with Torrens title subdivision+swimming pool on lot 1 Stage 2: Construction of a secondary dwelling on lot. 2 only	Basix Commitments - Second Dwelling (Granny Flat)	- ALL WORK ADDITIONS ARE TO BE CONSIDERED PART OF THIS AMENDED PLAN - ALL GROUND LINES ARE APPROXIMATE ONLY, AND ARE TO BE VERIFIED ON SITE. - THE BUILDER IS RESPONSIBLE FOR THE CORRECTINGS OF ALL PLANS AND DIMENSIONS. - THE BUILDER HAS TO CHECK ALL DIMENSIONS PRIOR TO COMMENMENT OF WORK. - STORM WATER TO H. ENGINEER DETAILS - DONT SCALE.	- SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786-1993. ALARMS ARE TO BE POSITIONED ON THE CELING AND SET BACK A MINIMUM DISTANCE OF 300mm FROM ANY WALL. -WET AREAS ARE TO BE WATERPROOFED IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGSE	DATE	11/03/2022							
					CHECKED	SS							
					SCALE	1/100							
					JOB NUMBER	873							
					NUMBER IN SET	12							
	AT: 18 KOONAWARRA ST. VILLAWOOD LOT 664 IN DP 36612	CLIENT NAME			ISSUE								
Mr. ZAMEL NIAMAH 0422238478													



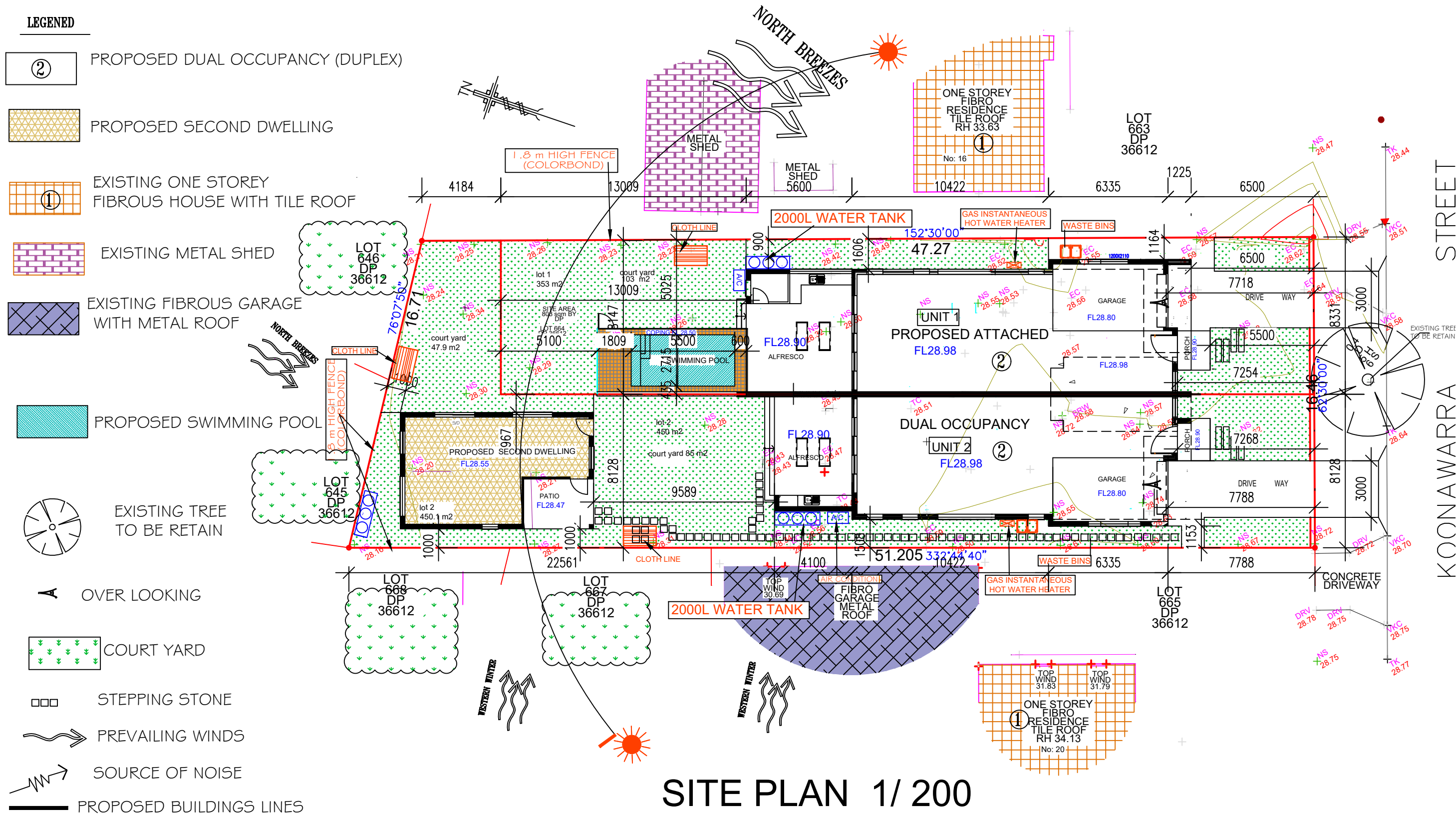
SHADOW DIAGRAM AT 22 JUNE  
8 A.M -9 A.M -12 NOON- 3 P.M- 4P.M



**SIGHT BUILDING DESIGN**  
Sam. Sallit (B. Arch.)  
Member of the royal Australian Institute of architect  
(Tel - fax) 9637 1491 Mob: 0410 316 294  
31Fornell Street, Merrylands 2160 marsam2@outlook.com.au

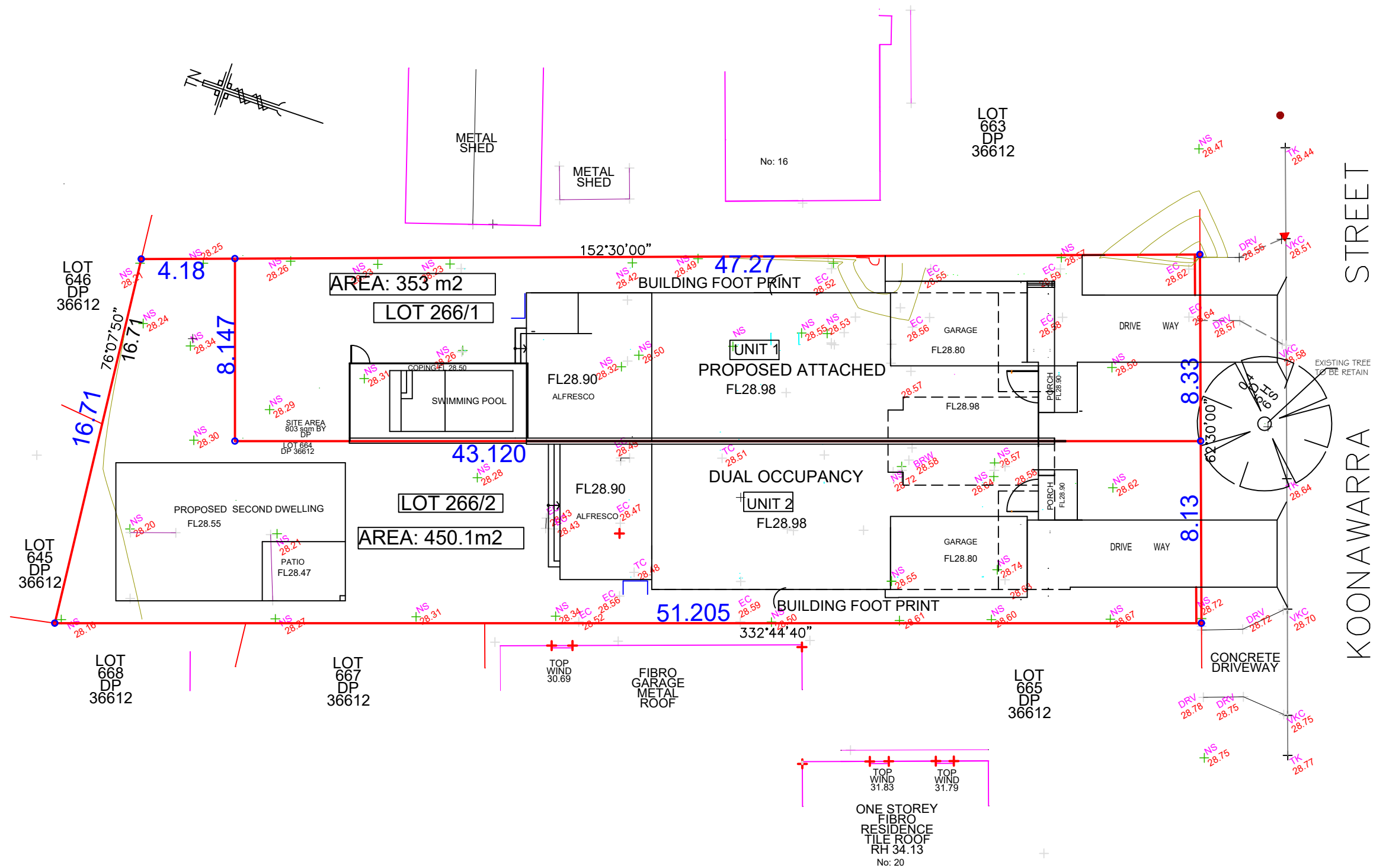
JOB DESCRIPTION	DRAWING TITLE	NOTES	DRAWN	SS	NORTH	ISSUE	AMENDMENT	BY	DATE
Proposal: Stage 1: Demolition of existing structures and construction of an attached two storey dual occupancy with Torrens title subdivision+swimming pool on lot 1 Stage 2: Construction of a secondary dwelling on lot 2 only	SHADOW DIAGRAM AT 22 JUNE 8 AM.9 A.M -12 NOON- 3 P.M- 4P.M	- ALL WORK ADDITIONS ARE TO BE CONSIDERED PART OF THIS AMENDED PLAN - ALL GROUND LINES ARE APPROXIMATE ONLY, AND ARE TO BE VERIFIED ON SITE. - THE BUILDER IS RESPONSIBLE FOR THE CORRECTINGS OF ALL PLANS AND DIMENSIONS. - THE BUILDER HAS TO CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. - STORM WATER TO H. ENGINEER DETAILS - DONT SCALE.	DATE	11/03/2022					
			CHECKED	SS					
			SCALE	1/200					
			JOB NUMBER	873					
			NUMBER IN SET	13					
			ISSUE						
AT: 18 KOONAWARRA ST. VILLAWOOD LOT 664 IN DP 36612	CLIENT NAME Mr. ZAMEL NIAMAH 0422238478								





SITE PLAN 1/ 200

JOB DESCRIPTION	DRAWING TITLE	NOTES	DRAWN	SS	NORTH	ISSUE	AMENDMENT	BY	DATE
Proposal: Stage 1: Demolition of existing structures and construction of an attached two storey dual occupancy with Torrens title subdivision+swimming pool on lot 1 Stage 2: Construction of a secondary dwelling on lot 2 only	SITE ANALYSIS	- ALL WORK ADDITIONS ARE TO BE CONSIDERED PART OF THIS AMENDED PLAN - ALL GROUND LINES ARE APPROXIMATE ONLY, AND ARE TO BE VERIFIED ON SITE. - THE BUILDER IS RESPONSIBLE FOR THE CORRECTINGS OF ALL PLANS AND DIMENSIONS. - THE BUILDER HAS TO CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. - STORM WATER TO H. ENGINEER DETAILS - DONT SCALE.	DATE	11/03/2022					
			CHECKED	SS					
			SCALE	1/200					
			JOB NUMBER	873					
			NUMBER IN SET	14					
			ISSUE						
AT: 18 KOONAWARRA ST. VILLAWOOD LOT 664 IN DP 36612	CLIENT NAME Mr. ZAMEL NIAMAH 0422238478								



# SUBDIVISION PLAN 1/200

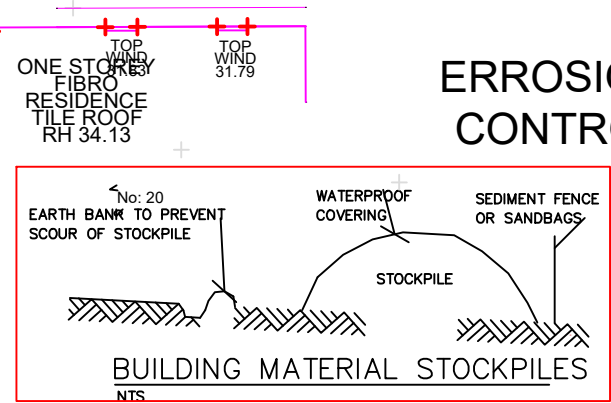
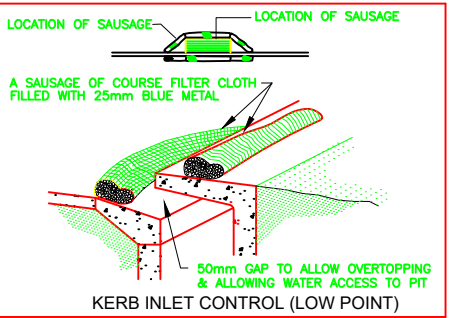
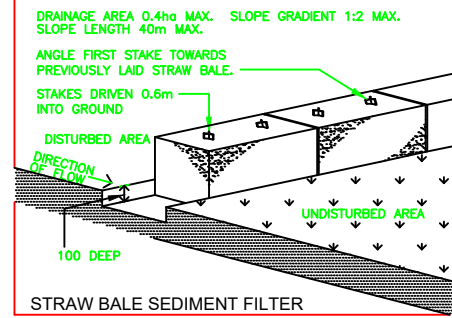
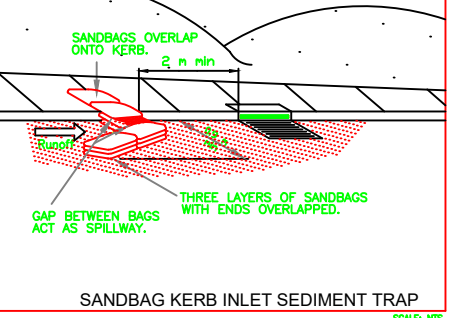
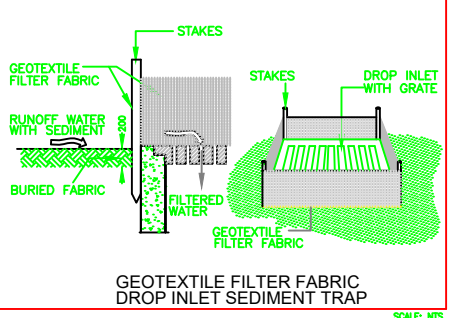
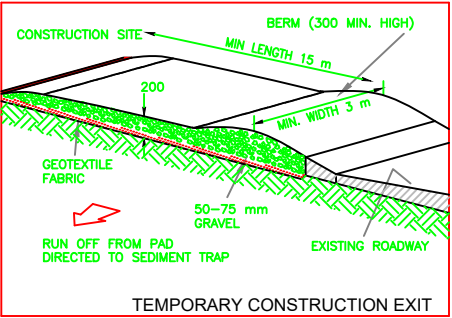
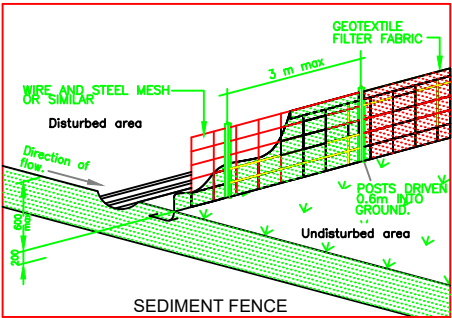
**SIGHT BUILDING DESIGN**  
Sam. Sallit (B. Arch.)  
Member of the royal Australian Institute of architect  
(Tel - fax) 9637 1491 Mob: 0410 316 294  
31Fornell Street, Merrylands 2160 marsam2@outlook.com.au

JOB DESCRIPTION	DRAWING TITLE	NOTES	DRAWN	SS	NORTH	ISSUE	AMENDMENT	BY	DATE
Proposal: Stage 1: Demolition of existing structures and construction of an attached two storey dual occupancy with Torrens title subdivision+swimming pool on lot 1 Stage 2: Construction of a secondary dwelling on lot. 2 only	SUBDIVISION PLAN	- ALL WORK ADDITIONS ARE TO BE CONSIDERED PART OF THIS AMENDED PLAN - ALL GROUND LINES ARE APPROXIMATE ONLY, AND ARE TO BE VERIFIED ON SITE. - THE BUILDER IS RESPONSIBLE FOR THE CORRECTINGS OF ALL PLANS AND DIMENSIONS. - THE BUILDER HAS TO CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. - STORM WATER TO H. ENGINEER DETAILS - DONT SCALE.	DATE	11/03/2022					
			CHECKED	SS					
			SCALE	1/200					
			JOB NUMBER	873					
			NUMBER IN SET	15					
AT: 18 KOONAWARRA ST. VILLAWOOD LOT 664 IN DP 36612	CLIENT NAME Mr. ZAMEL NIAMAH 0422238478		ISSUE						



EROSION NOTES:

- 1- ALL ERROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER.
- 2- MINIMISE DISTURED AREAS.
- 3- ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
- 4- DRAINAGE TO BE CONECTED TO STORM WATER SYSTEM AS SOON AS POSSIBLE.
- 5- ROAD AND FOOTPATH TO BE SWEEPED DAILY.
- 6- NO MATERIALS TO BE STORED ON FOOTPATH.
- 7- SILT FENCE TO BE CONSTRUCTED AS PER DETAIL SHOWN OR BY USING AN APPROVED EQUIVALENT MEASURE. THE SILT FENCE IS TO BE CONSTRUCTED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITIES. IT IS TO BE KEPT IN GOOD WORKING ORDER AT ALL TIMES. WHEN APPROXIMATELY 30% FULL OR DIRECTED BY COUNCIL'S REPRESENTATIVE. THE SILT FENCES ARE TO BE CLEARED OF SILT AND OTHER BUILT UP MATRIALS.



ERROSION & SEDIMENT CONTROL PLAN 1/200

JOB DESCRIPTION	DRAWING TITLE	NOTES	DRAWN	SS	NORTH	ISSUE	AMENDMENT	BY	DATE
Proposal: Stage 1: Demolition of existing structures and construction of an attached two storey dual occupancy with Torrens title subdivision+swimming pool on lot 1 Stage 2: Construction of a secondary dwelling on lot 2 only	EROSION & SEDIMENT CONTROL PLAN	- ALL WORK ADDITIONS ARE TO BE CONSIDERED PART OF THIS AMENDED PLAN - ALL GROUND LINES ARE APPROXIMATE ONLY, AND ARE TO BE VERIFIED ON SITE. - THE BUILDER IS RESPONSIBLE FOR THE CORRECTINGS OF ALL PLANS AND DIMENSIONS. - THE BUILDER HAS TO CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. - STORM WATER TO H. ENGINEER DETAILS - DONT SCALE.	DATE	11/03/2022					
			CHECKED	SS					
			SCALE	1/200					
			JOB NUMBER	873					
			NUMBER IN SET	16					
AT: 18 KOONAWARRA ST. VILLAWOOD LOT 664 IN DP 36612	CLIENT NAME Mr. ZAMEL NIAMAH 0422238478		ISSUE						

BASIX COMMITMENTS- UNIT -1- Certificate number: 1310013S

Water Commitments  
Landscape  
The applicant must plant indigenous or low water use species of vegetation throughout 20 square metres of the site.  
Fixtures  
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.  
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.  
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.  
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.  
Alternative water  
Rainwater tank  
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.  
The applicant must configure the rainwater tank to collect rain runoff from at least 80 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).  
The applicant must connect the rainwater tank to:  
• all toilets in the development  
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply)  
SWIMMING POOL  
SWIMMING POOL MUST NOT HAVE MORE THAN VOLUME 22 KL  
THE SWIMMING POOL MUST BE OUT DOORS  
MUST NOT INCORPORATE ANY HEATING SYSTEM FOR THE SWIMMING POOL  
THE OWNER MUST INSTALL A TIMER FOR SWIMMING POOL  
  
Thermal Comfort Commitments  
General features  
The dwelling must not have more than 2 storeys.  
The conditioned floor area of the dwelling must not exceed 300 square metres.  
The dwelling must not contain open mezzanine area exceeding 25 square metres.  
The dwelling must not contain third level habitable attic room.Floor, walls and ceiling/roof  
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.  
Construction Additional insulation required (R-Value) Other specifications  
floor - concrete slab on ground, 96.38 square metres nil  
floor - above habitable rooms or mezzanine, 61 square metres, concrete nil  
floor - suspended floor above garage, concrete nil  
external wall - Cavity brick 0.5 (or 1.17 including construction)  
external wall - Brick Veneer 1.86 (or 2.40 including construction)  
external wall - framed (weatherboard, fibre cement, metal clad) 2.20 (or 2.60 including construction)internal wall shared with garage - single skin masonry - nil  
internal wall shared with garage - single skin masonry - nil  
Ceiling and roof - flat ceiling / pitched roof ceiling: 4 (up), roof: foil/ sarking unventilated; dark (solar absorptance >0.70)  
ceiling and roof - flat ceiling / flat roof, framed ceiling: 3.5(up), roof: thermocellular reflective framed; medium (solar absorptance 0.475 - 0.70)  
Note • Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.  
Note • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building material  
Energy Commitments  
Hot water  
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.  
Cooling system  
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: 3.5 - 4Star  
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: : 3-phase airconditioning; Energy rating: 3.5 - 4Star  
The cooling system must provide -4 for day/night zoning between living areas and bedrooms.  
Heating system  
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: 3.5 -4Star  
  
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: : 3-phase airconditioning; Energy rating: 3.5 - 4Star  
The heating system must provide for day/night zoning between living areas and bedrooms.  
Ventilation  
The applicant must install the following exhaust systems in the development:  
At least 1 Bathroom: individual fan, not ducted; Operation control: manual switch on/off  
Kitchen: individual fan, not ducted; Operation control: manual switch on/off  
Laundry: individual fan, not ducted; Operation control: manual switch on/off  
Artificial lighting  
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:  
• at least 4 of the bedrooms / study;

Window/glazed door no. Maximumheight (mm)Maximum width(mm)  
Type Shading Device (Dimension within 10%) of window or glazed door Overshadowing

North East: facing  
W1 600x3100 aluminium, single, clear  
W2 2100x850 aluminium, single, clear  
W3 2100x850 aluminium, single, clear  
W4 600x2800 aluminium, single, clear  
W05 600x 850 aluminium, single clear  
W06 1200 x2110 aluminium, single, clear  
W07 600 x2410 aluminium, single, clear  
W08 600x 2410 aluminium, single, clear  
W09 600 x1210 aluminium, single, tint (or U-value:6.6, SHGC:0.441 -0.539  
W10 600x2410 aluminium, single, clear

South East: facing  
W11 2600x 1000 aluminium, single, clear  
W12 2100 x3300 aluminium, single, clear  
W13 2600 x1000 aluminium, single, clear

North West: facing  
W14 2400x5000 aluminium, single, clear  
W15 600x 850 aluminium, single, tint (or U-value:6.6, SHGC:0.441 -0.539  
W16 1200x2110 aluminium, single, clear  
W17 1200x2110 aluminium, single, clea

- at least 1 of the living / dining rooms;• the kitchen;• all bathrooms/toilets;• the laundry;• all hallways;  
Natural lighting  
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.  
Other  
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.  
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.  
The applicant must install a fixed outdoor clothes drying line as part of the development

<div><div><div><div></div><div></div></div><div><div></div><div></div></div></div><div><div><div>SIGHT BUILDING DESIGN</div><div><div>Sam. Sallit</div><div>(B. Arch.)</div></div><div><div>Member of the royal Australian Institute of architect</div><div>(Tel - fax) 9637 1491 Mob: 0410 316 294</div><div>31Fornell Street,Merrylands 2160 marsam2@outlook.com.au</div></div></div></div></div>	JOB DESCRIPTION	DRAWING TITLE	NOTES		DRAWN	SS	<div><div></div><div></div></div> <div>NORTH</div>	ISSUE	AMENDMENT	BY	DATE
	Proposal: Stage 1:Demolition of existing structures and construction of an attached two storey dual occupancy with Torrens title subdivision+swimming pool on lot 1 Stage 2: Construction of a secondary dwelling on lot. 2 only	Basix Commitments Unit (1)	- ALL WORK ADDITIONS ARE TO BE CONSIDERED PART OF THIS AMENDED PLAN - ALL GROUND LINES ARE APPROXIMATE ONLY, AND ARE TO BE VERIFIED ON SITE. - THE BUILDER IS RESPONSIBLE FOR THE CORRECTINGS OF ALL PLANS AND DIMENSIONS. - THE BUILDER HAS TO CHECK ALL DIMENSIONS PRIOR TO COMMENMENT OF WORK. - STORM WATER TO H. ENGINEER DETAILS  - DONT SCALE.		DATE	11/03/2022					
			- SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786-1993. ALARMS ARE TO BE POSITIONED ON THE CELING AND SET BACK A MINIMUM DISTANCE OF 300mm FROM ANY WALL. -WET AREAS ARE TO BE WATERPROOFED IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGSE		CHECKED	SS					
					SCALE	1/200					
					JOB NUMBER	873					
					NUMBER IN SET	17					
					ISSUE						



BASIX COMMITMENTS- UNIT -2- Certificate number: 1310067S

Water Commitments  
Landscape  
The applicant must plant indigenous or low water use species of vegetation throughout 22 square metres of the site.  
Fixtures  
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.  
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.  
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.  
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.  
Alternative water  
Rainwater tank  
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.  
The applicant must configure the rainwater tank to collect rain runoff from at least 50 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).  
The applicant must connect the rainwater tank to:  
• all toilets in the development  
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply)

Thermal Comfort Commitments  
General features  
The dwelling must not have more than 2 storeys.  
The conditioned floor area of the dwelling must not exceed 300 square metres.  
The dwelling must not contain open mezzanine area exceeding 25 square metres.  
The dwelling must not contain third level habitable attic room.Floor, walls and ceiling/roof  
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.  
Construction Additional insulation required (R-Value) Other specifications  
floor - concrete slab on ground, 96.38 square metres nil  
floor - above habitable rooms or mezzanine, 61 square metres, concrete nil  
floor - suspended floor above garage, concrete nil  
external wall - Cavity brick 0.5 (or 1.17 including construction)  
external wall - Brick Veneer 1.86 (or 2.40 including construction)  
external wall - framed (weatherboard, fibre cement, metal clad) 2.20 (or 2.60 including construction)internal wall shared with garage - single skin masonry - nil  
internal wall shared with garage - single skin masonry - nil  
Ceiling and roof - flat ceiling / pitched roof ceiling: 4 (up), roof: foil/ sarking unventilated; dark (solar absorptance >0.70)  
ceiling and roof - flat ceiling / flat roof, framed ceiling: 3.5(up), roof: thermocellular reflective framed; medium (solar absorptance 0.475 - 0.70)  
Note • Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.  
Note • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building material

Energy Commitments  
Hot water  
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 3 stars.  
Cooling system  
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: 3.5 - 4Star  
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: : 3-phase airconditioning; Energy rating: 3.5 - 4Star  
The cooling system must provide -4 for day/night zoning between living areas and bedrooms.  
Heating system  
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: 3.5 -4Star

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: : 3-phase airconditioning; Energy rating: 3.5 - 4Star  
The heating system must provide for day/night zoning between living areas and bedrooms.  
Ventilation  
The applicant must install the following exhaust systems in the development:  
At least 1 Bathroom: individual fan, not ducted; Operation control: manual switch on/off  
Kitchen: individual fan, not ducted; Operation control: manual switch on/off  
Laundry: individual fan, not ducted; Operation control: manual switch on/off  
Artificial lighting  
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:  
• at least 4 of the bedrooms / study;

Window/glazed door no. Maximumheight (mm)Maximum width(mm)  
Type Shading Device (Dimension within 10%) of window or glazed door Overshadowing

South East: facing  
W1 2600x1000 aluminium, single, clear  
W2 2600x1000 aluminium, single, clear  
W3 2100x3300 aluminium, single, clear

South West: facing  
W4 600x2110 aluminium, single, clear  
W05 600x 850 aluminium, single clear  
W06 600 x2800 aluminium, single, clear  
W07 2100 x850 aluminium, single, clear  
W08 2100x 850 aluminium, single, clear  
W09 600 x3100 aluminium, single, clear  
W10 600x2410 aluminium, single, clear  
W11 600x 1210 aluminium, single, tint (or U-value:6.6, SHGC:0.441 -0.539O)  
W12600 x2410 aluminium, single, clear  
W13 2600 x2410 aluminium, single, clear

North West: facing  
W14 2400x5000 aluminium, single, clear  
W151200x 2110 aluminium, single, clear  
W16 1200x2110 aluminium, single, clear

- at least 1 of the living / dining rooms;• the kitchen;• all bathrooms/toilets;• the laundry;• all hallways;
- Natural lighting  
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.  
Other  
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.  
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.  
The applicant must install a fixed outdoor clothes drying line as part of the development

<div><div><div><div></div><div></div></div><div><div></div><div></div></div></div><div><div><div>SIGHT BUILDING DESIGN</div><div>Sam. Sallit (B. Arch.)</div><div>Member of the royal Australian Institute of architect</div><div>(Tel - fax) 9637 1491 Mob: 0410 316 294</div><div>31Fornell Street,Merrylands 2160 marsam2@outlook.com.au</div></div></div></div>	JOB DESCRIPTION	DRAWING TITLE	NOTES		DRAWN	SS	<div><div></div><div></div></div> <div>NORTH</div>	ISSUE	AMENDMENT	BY	DATE
	Proposal: Stage 1:Demolition of existing structures and construction of an attached two storey dual occupancy with Torrens title subdivision+swimming pool on lot 1	Basix Commitments Unit (2)	- ALL WORK ADDITIONS ARE TO BE CONSIDERED PART OF THIS AMENDED PLAN - ALL GROUND LINES ARE APPROXIMATE ONLY, AND ARE TO BE VERIFIED ON SITE. - THE BUILDER IS RESPONSIBLE FOR THE CORRECTINGS OF ALL PLANS AND DIMENSIONS. - THE BUILDER HAS TO CHECK ALL DIMENSIONS PRIOR TO COMMENCMENT OF WORK. - STORM WATER TO H. ENGINEER DETAILS  - DONT SCALE.	- SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786-1993. ALARMS ARE TO BE POSTIONED ON THE CELING AND SET BACK A MINIMUM DISTANCE OF 300mm FROM ANY WALL. -WET AREAS ARE TO BE WATERPROOFED IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGSE	DATE	11/03/2022					
	Stage 2: Construction of a secondary dwelling on lot. 2 only				CHECKED	SS					
	AT: 18 KOONAWARRA ST. VILLAWOOD LOT 664 IN DP 36612	CLIENT NAME			SCALE	1/200					
		Mr. ZAMEL NIAMAH 0422238478			JOB NUMBER	873					
					NUMBER IN SET	18					
					ISSUE						


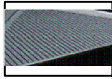






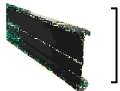
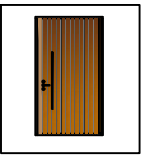

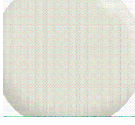
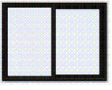
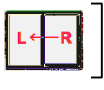
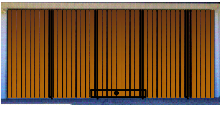






19

# MATERIALS AND FINISHES - (Colours Charts etc.)

Date: 25/04/2022

**Add:** AT: 18 KOONAWARRA ST.VILLAWOOD  
LOT 664 IN DP 36612

<u>Item</u>		<u>Colour</u>	
- ROOF:	COLORBOND ROOF TILE ROOF (BORAL)	DARK GREY CHARCOAL COLOR	  
- EXTERNAL WALLS:	BRICK (AUSTRAL BLACK FOREST) - BLUE BOARD WITH CEMENT RENDER off white		 
-MORTER:	OFF WHITE	-	 
- GUTTER & DRAIN PIPE:	COLORBOND	DARAK GREY	
-FASCIA:	COLORBOND	DARK GREY	
- FRONT DOOR:	TIMBER DOOR	TMBER COLORI; -	
-INFILL PANELS	BLUE BOARDS WITH CEMENT RENDER DARK GREY +OFF WHITE		
- COLUMNS:	CEMENT RENDER	OFF WHITE _	
- WINDOWS:	SLIDING ALU.	BLACK	 
- GARAGE DOOR:	COLORBOND	TIMBER LOOK	
- PRIVACY SCREEN :	ALU. LOUVERS	OFF WHITE	 
- BALCONY RAILS:	SAFETY GLASS. RAILS	CLEAR	
- SWIMMING POOL RAILS:	SAFETY GLASS. RAILS	CLEAR	
- DRIVE WAY:	CONCRETE	CHARCOAL COLOR	